

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	S52° 23' 07"E	52.26'	L51	N13° 37' 57"E	244.40'
L2	S56° 42' 30"E	282.38'	L52	N10° 43' 10"W	191.80'
L3	S39° 52' 13"W	95.41'	L53	N79° 16' 50"E	26.19'
L4	N34° 46' 21"E	97.75'	L54	S78° 20' 37"E	427.37'
L5	N46° 36' 03"E	59.68'	L55	N87° 02' 46"E	200.00'
L6	N40° 20' 12"E	179.04'	L56	N89° 12' 39"E	647.37'
L7	N80° 31' 00"W	17.31'	L57	S01° 13' 10"E	281.57'
L8	S42° 22' 35"W	75.83'	L58	S68° 07' 13"W	243.09'
L9	S42° 08' 39"W	58.76'	L59	S68° 07' 13"W	396.03'
L10	S37° 54' 11"W	45.07'	L60	S68° 07' 13"W	160.00'
L11	S42° 49' 30"W	37.56'	L61	N45° 17' 27"E	149.39'
L12	S46° 25' 05"W	95.63'	L62	N56° 43' 56"W	78.76'
L13	S83° 58' 52"W	87.16'	L63	S45° 55' 34"E	71.06'

L14	N85° 36' 30"W	75.08'
L15	N89° 12' 30"W	14.50'
L16	S85° 44' 04"W	14.57'
L17	S89° 40' 14"W	100.84'
L18	N00° 28' 26"W	121.05'
L19	S86° 21' 30"E	52.67'
L20	N17° 28' 30"E	35.30'
L21	N09° 06' 30"E	124.30'
L22	S44° 36' 00"W	46.79'
L22	S86° 01' 00"W	120.00'
L23	S44° 36' 00"W	123.96'
L23	N82° 39' 14"W	122.79'
L24	N78° 27' 00"W	58.61'
L25	N80° 31' 00"W	173.00'
L26	N44° 40' 00"E	341.33'
L27	N39° 18' 31"W	173.08'
L28	N42° 25' 44"W	50.29'
L29	N37° 04' 25"W	33.06'
L30	N14° 01' 36"W	52.00'
L31	N06° 46' 24"E	43.63'
L32	N41° 18' 18"E	150.50'
L33	N65° 28' 32"E	114.50'
L34	N27° 48' 22"W	21.93'
L35	N28° 24' 54"W	86.06'
L36	N61° 42' 02"E	125.42'
L37	S42° 43' 58"E	118.75'
L38	N14° 49' 47"W	184.06'
L39	N42° 48' 43"E	53.45'
L40	N46° 11' 35"W	117.09'
L41	N41° 53' 19"E	202.28'
L42	N50° 19' 26"W	123.70'
L43	N23° 51' 05"E	467.77'
L44	S66° 07' 10"E	181.52'
L45	N64° 06' 30"W	2.55'
L46	N18° 55' 30"E	250.90'
L47	N18° 04' 30"E	78.37'
L48	S76° 25' 06"E	258.14'
L49	N16° 06' 53"E	254.91'
L50	N19° 19' 17"E	172.48'

ASSESSORS MAP
BK. 07 PG. 38
Δ 7 - APN 007-380-007
Δ 8 - APN 007-380-008
Δ 9 - APN 007-380-009
Δ 10 - APN 007-380-010
Δ 11 - APN 007-380-011
Δ 14 - APN 007-380-014
Δ 17 - APN 007-380-017
Δ 18 - APN 007-380-018
Δ 20 - APN 007-380-020
Δ 21 - APN 007-380-021
Δ 22 - APN 007-380-022
Δ 24 - APN 007-380-024
Δ 25 - APN 007-380-025
Δ 26 - APN 007-380-026
Δ 27 - APN 007-380-027

ASSESSORS MAP
BK. 07 PG. 54
□ 19 - APN 007-540-035
□ 26 - APN 007-540-028
□ 29 - APN 007-540-029
□ 30 - APN 007-540-030
□ 31 - APN 007-540-031
□ 32 - APN 007-540-032
□ 33 - APN 007-540-033
□ 34 - APN 007-540-034
□ 35 - APN 007-540-035
□ 36 - APN 007-540-036
□ 37 - APN 007-540-037

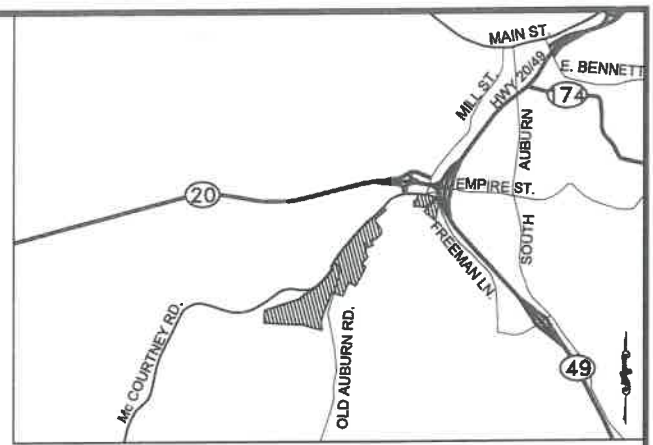
ASSESSORS MAP
BK. 29 PG. 22
○ 1 - APN 029-220-001
○ 3 - APN 029-220-003
○ 4 - APN 029-220-004
○ 5 - APN 029-220-005
○ 6 - APN 029-220-006
○ 8 - APN 029-220-008
○ 10 - APN 029-220-010
○ 11 - APN 029-220-011
○ 12 - APN 029-220-012
○ 16 - APN 029-220-016
○ 17 - APN 029-220-017

ANNEXATION NUMBER _____
CITY OF GRASS VALLEY

A PORTION OF
SECTIONS 33 & 34, TOWNSHIP 18 NORTH, RANGE 8 EAST.
IN THE UNINCORPORATED AREA OF THE COUNTY OF NEVADA, STATE OF CALIFORNIA
DUNDAS GEOMATICS, INC. SEPTEMBER 2020
159 S. AUBURN ST.
GRASS VALLEY, CA 95945
(5530) 274-1616

SCALE 1"=300'

CITY OF GRASS VALLEY



VICINITY MAP
SCALE: NTS

APPROVED BY NEVADA COUNTY LOCAL AGENCY FORMATION COMMISSION.

RESOLUTION NUMBER, _____
DATE: _____

THIS MAP, WHEN RECORDED, WAS ACCOMPANIED BY A CERTIFICATE OF COMPLETION, PREPARED PURSUANT TO SECTIONS 57200-51202 OF THE GOVERNMENT CODE, TO WHICH WAS ATTACHED A CERTIFIED COPY OF THE BOUNDARY DESCRIPTION OF THE TERRITORY SHOWN ON SAID MAP. THE CERTIFICATE OF COMPLETION IS RECORDED AS DOCUMENT NO. _____, NEVADA COUNTY RECORDS.

S.R. JONES
EXECUTIVE OFFICER, _____
DATE _____

RECORDER'S STATEMENT

RECORDED AT THE REQUEST OF S.R. JONES, EXECUTIVE OFFICER OF NEVADA COUNTY LOCAL AGENCY FORMATION COMMISSION, AT _____ A.M./P.M. THIS _____ DAY OF _____, 2020, IN BOOK _____ OF SURVEYS AT PAGE _____, NEVADA COUNTY RECORDS.

DOCUMENT NO.: _____ GREGORY J. DIAZ
FEE: _____ NEVADA COUNTY RECORDER
BY: _____

THIS MAP WAS PREPARED OR UNDER THE DIRECTION OF: _____
RONALD S. DUNDAS, PLS 4415

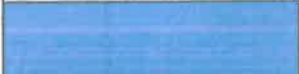
LEGEND

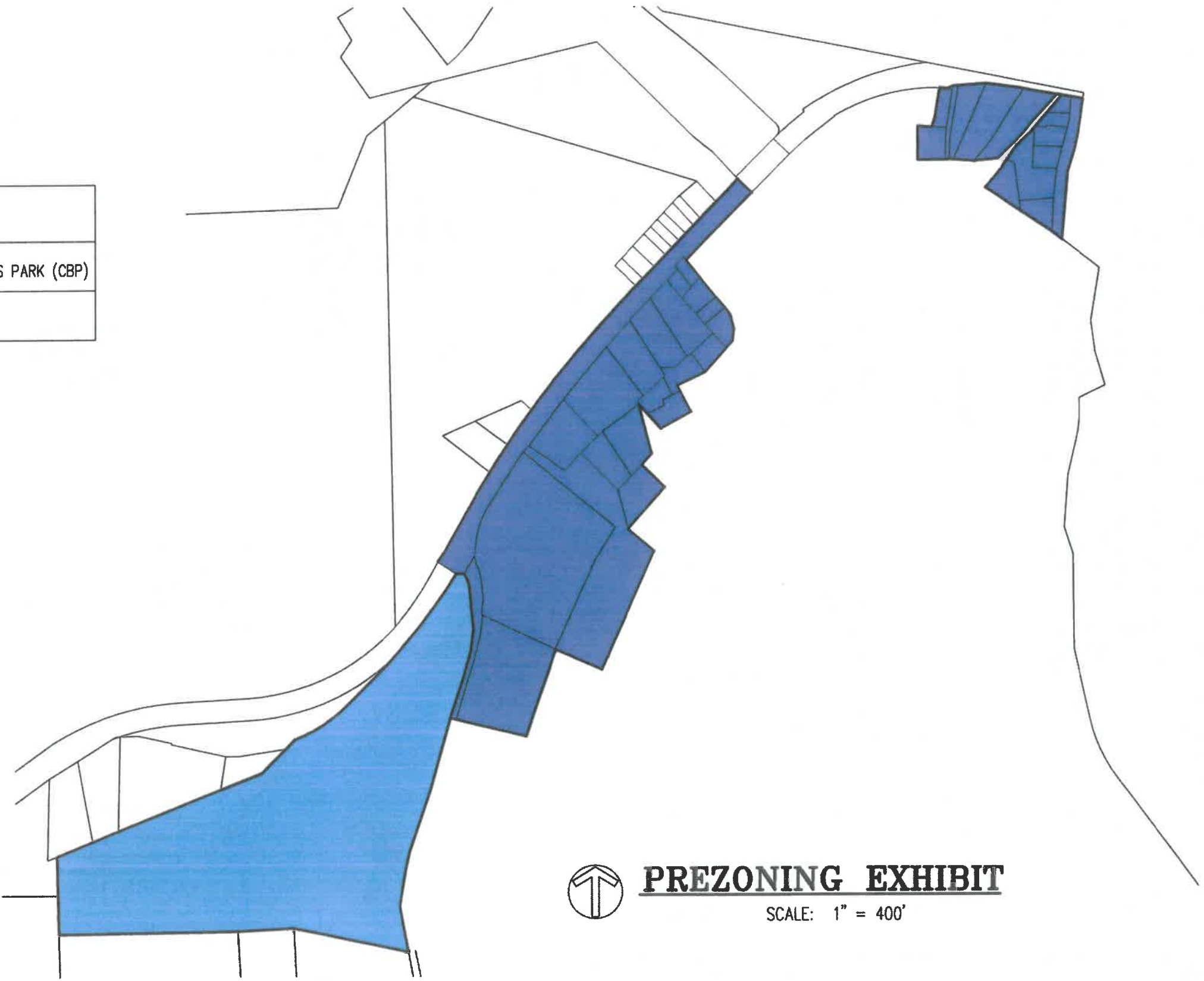
- NEW CITY BOUNDARY
- EXISTING CITY BOUNDARY
- ADJOINING PROPERTY



Curve Table			
Curve #	Radius	Delta	Length
C2	2040.00'	Δ 13° 23' 09"	476.60'
C3	860.00'	Δ 1° 51' 33"	27.91'
C1	540.00'	Δ 23° 26' 52"	220.99'

LEGEND

	CORPORATE BUSINESS PARK (CBP)
	NC-FLEX



PREZONING EXHIBIT

SCALE: 1" = 400'

DESIGNED: REW

DRAWN: DEC

PROJ. NO:

DATE: October, 2020

SHEET NUMBER

EX-1

GRASS VALLEY RV RESORT
PREZONING EXHIBIT

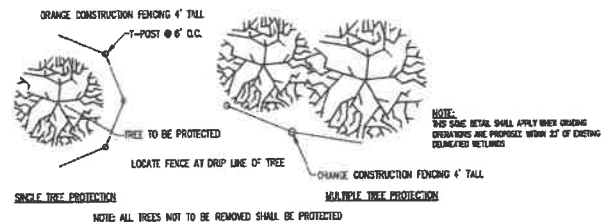
CITY OF GRASS VALEY

CALIFORNIA



NOTES:

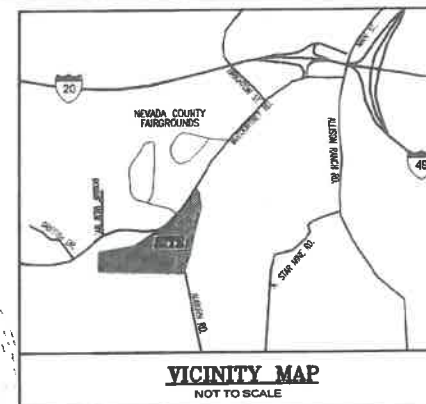
1. TREES LESS THAN 3" DIAMETER ARE NOT SHOWN.
2. TREE DRIP LINES ARE ESTIMATED BASED ON THE DIAMETER OF THE TREE AND ACTUAL DRIP LINE MAY VARY.
3. LOCATION AND TYPE OF TREE PROTECTION FENCING SHALL CONFORM TO THE CITY'S REQUIREMENTS.



ADDITIONAL TREE MITIGATION NOTES:

- ADDITIONAL LINE MIGRATION NOTICE:**
1. FENCING, A MINIMUM OF 3' TALL WITH PISTS PLACED NO FURTHER THAN 10 FEET APART, SHALL BE INSTALLED AT THE EDGE OF THE TREE DISEMPLOY. THE FENCING SHALL BE LOCATED WITHIN THE MINIMUM UNDISTURBED GRADE.
 2. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE DISEMPLOY, INCLUDING BUT NOT LIMITED TO, JUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE TIES, EQUIPMENT OR PARKED VEHICLES.
 3. THE TREE DISEMPLOY SHALL REMAIN FREE OF OBSTRUCTIONS, INCLUDING MATERIALS AND LOGSUCH SUCH AS PAINTS, BARRIERS, CLEANING SOLUTIONS, PROTECTIVE PRODUCTS AND CONCRETES, OR ANY FULL OBSTACLE, CONSTRUCTION DEBRIS, OR RUN-OUT.
 4. NO EXCAVATION, BENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE DISEMPLOY UNLESS APPROVED BY THE REVIEW AUTHORITY OR TREE PLANTER.
 5. CONSTRUCTION ACTIVITY SHALL NOT COMMENCE UNTIL THE TOWN HAS INSPECTED AND APPROVED THE INSTALLATION OF THE REQUIRED TREE DISEMPLOY FENCING. A TOWN REVIEW AND/OR CRIMINAL PLEA HAS BEEN ISSUED BY THE TOWN.

TREE MITIGATION DETAIL



LEGEND	
	RV / TRAILERS (w/ FULL HOOKUPS)
	CAMPSITES - NO HOOKUPS
	BIORETENTION OR STORMWATER TREATMENT
	TRASH ENCLOSURE
	RESTROOMS/SHOWERS

DESCRIPTION	AREA	% OF SITE
ASPHALT PAVEMENT	133,513 SF	15.0%
CONCRETE	116,263 SF	13.3%
BUILDING (FOOTPRINT)	5,765 SF	0.7%
OPEN SPACE/LANDSCAPING	616,530 SF	71.0%
TOTAL	872,071 SF	100%

PROJECT INFORMATION

OWNER / APPLICANT
TOM LAND
P.O. BOX 1660
CEDAR RIDGE, CA 95924
CONTACT PERSON: KEITH THOMASSEN (kthomassen@meo.com)

PLANNING & ENGINEERING

MILLENNIUM PLANNING & ENGINEERING
471 SUTTON WAY, SUITE 210
GRASS VALLEY, CA 95945
(530) 446-6765
CONTACT PERSON: ROB WOOD (rob@mlpe.com)

SURVEYING & BOUNDARY

DUNDAS GEOMATICS, INC.
149 CROWN POINT CIRCLE, SUITE D
GRASS VALLEY, CA 95945
(530) 274-1616
CONTACT PERSON: RON DUNDAS, PLS

APN's
007-550-018

SITE ADDRESS
11425 McCOURTNEY ROAD

LAND AREA
20.02 ACRES

ZONING / GENERAL PLAN

OP - OFFICE PROFESSIONAL TO REC - RECREATION

WATER
HD - ZONE 5.0

**SEWER
SEPTIC**

FIRE PROTECTION

NEVADA COUNTY CONSOLIDATED
ELECTRIC UTILITIES
PCAE

SHEET INDEX	
SHT #	SHEET DESCRIPTION
C1.0	OVERALL SITE PLAN
C2.3	PRELIMINARY GRADING & DRAINAGE PLAN
C3.3	PRELIMINARY UTILITY PLAN
L1.0	PRELIMINARY LANDSCAPE PLAN

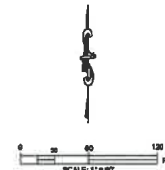
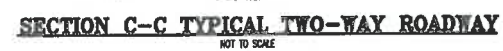
DESIGNED BY: NEW	REV.	DESCRIPTION	DATE
DRAWN: DEC			
PROJ. NO: 18-1101			
DWG: SEE DAYSTAMP			

GRASS VALLEY RV PARK
11425 McCOURTNEY ROAD
OVERALL SITE PLAN

CA: IECB/IA



ILLUMINUM
PLANNING & ENGINEERING
461 Jackson Hwy, Suite 470
301-466-1400



LEGEND	
	PROPOSED RETAINING WALL
	PROPOSED DRAIN INLET
	PROPOSED STORM PIPE
	CATCH BASIN
	BIORETENTION TREATMENT AREA
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	HIGH POINT ELEVATION
	LOW POINT ELEVATION
	FINISH ELEVATION
	FINISH GROUND ELEVATION
	FLOWLINE ELEVATION
	FINISH FLOOR ELEVATION

VOLUME CALCULATIONS

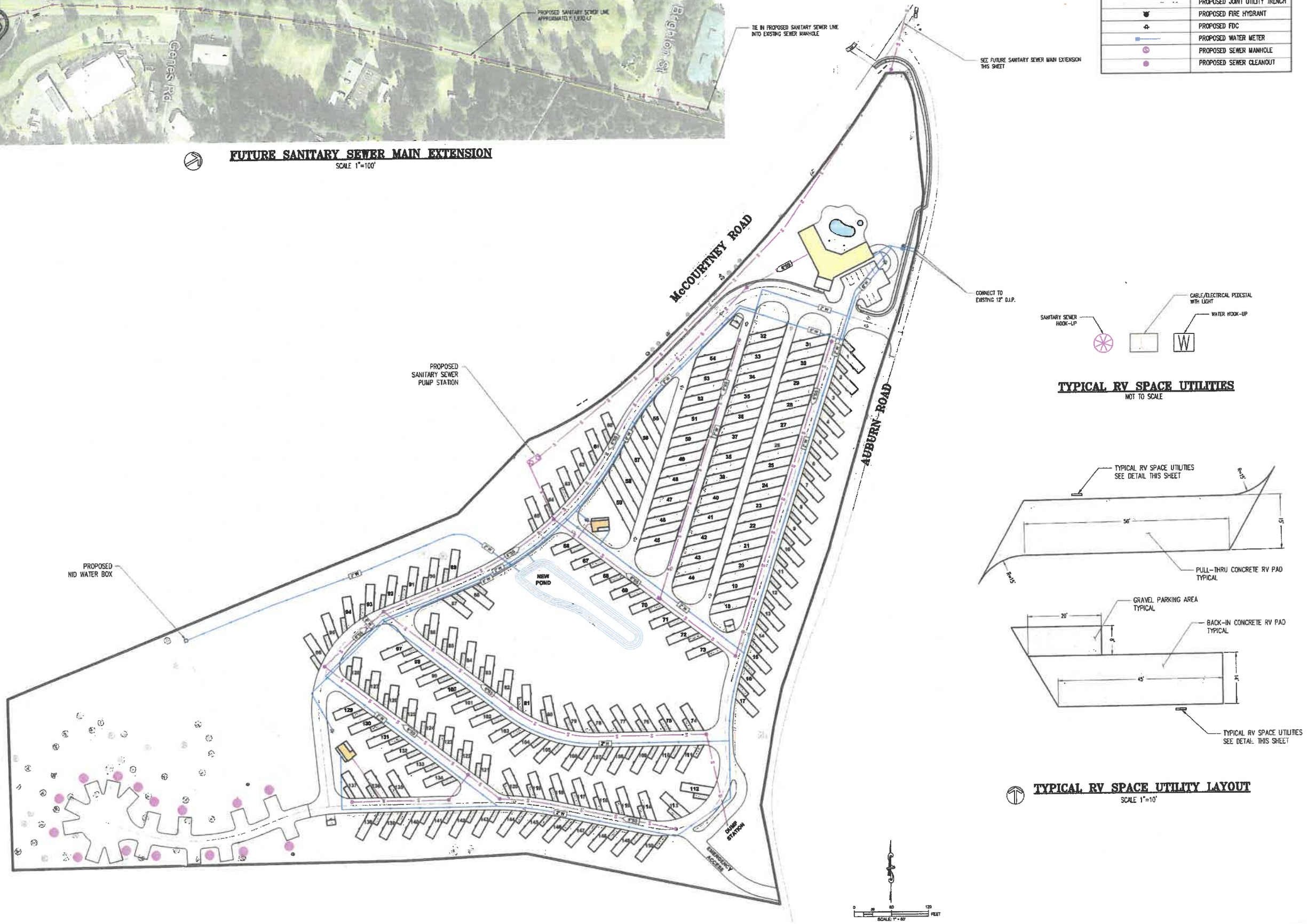
CUT:	24,823 C.Y.
FILL:	<u>19,198 C.Y.</u>
NET:	*5,625 C.Y.

* EXCESS MATERIAL WILL BE USED FOR LANDSCAPING ON SITE.

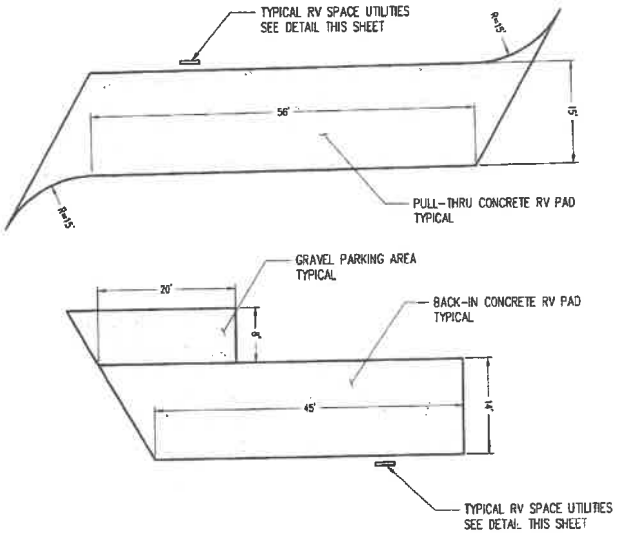


FUTURE SANITARY SEWER MAIN EXTENSION
SCALE 1"=100'

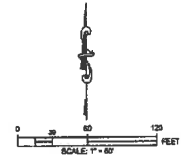
LEGEND	
	PROPERTY LINE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED JOINT UTILITY TRENCH
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED WATER METER
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT



TYPICAL RV SPACE UTILITIES
NOT TO SCALE



TYPICAL RV SPACE UTILITY LAYOUT
SCALE 1"=10'



ILLENNIUM
PLANNING & ENGINEERING
11425 McCourtney Road
Grass Valley, CA 95945
Phone: (530) 265-1101
Fax: (530) 265-1102
www.illenniumpe.com

CALIFORNIA

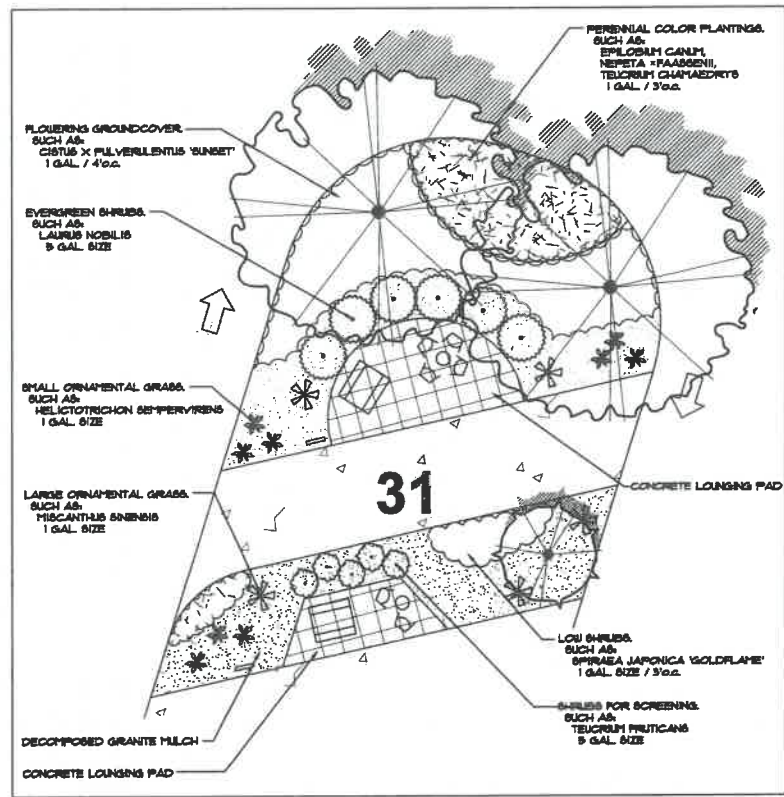
GRASS VALLEY RV PARK
11425 McCourtney Road
PRELIMINARY UTILITY PLAN

CITY OF GRASS VALLEY

DESIGNED: REW	DATE	DESCRIPTION	REV
DRAWN: DEC			
PROJ. NO: 16-1101			
ENR: SEE DASTAMP			
DATE: OCTOBER, 2020			

SHEET NUMBER

C3.0



PAD DETAIL



GENERAL LANDSCAPE NOTES

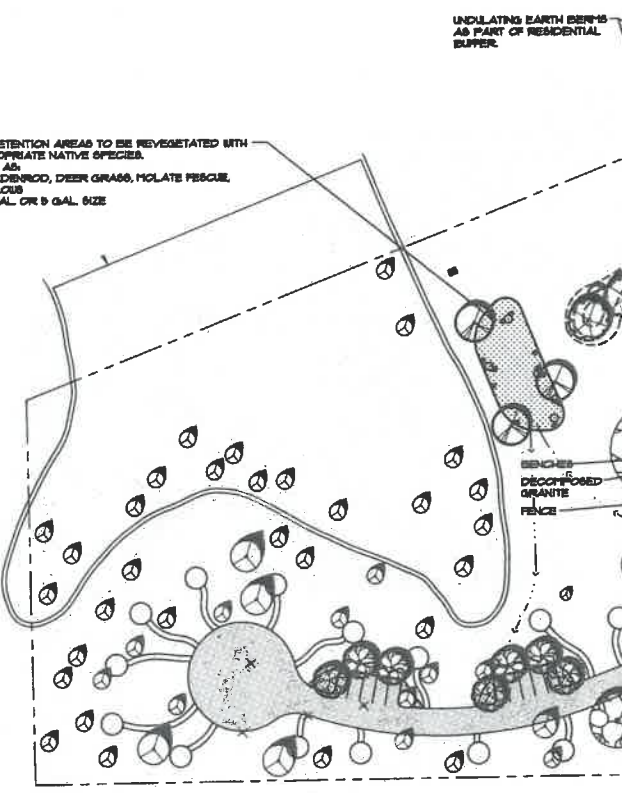
LANDSCAPE PLANS SHALL CONFORM TO GRASS VALLEY LANDSCAPE ORDINANCE.

UTILIZATION OF NATIVE AND ADAPTIVE PLANT MATERIALS IN NEW LANDSCAPING. THE PROPOSED PLANTING PALETTE STRESSES INDIGENOUS AND DROUGHT TOLERANT PLANT MATERIALS. THESE SPECIES WILL MINIMIZE THE USE OF EXCESSIVE WATER, FERTILIZERS, HERBICIDES AND OTHER INTERVENTION. APPROPRIATE PLANTINGS WILL ALSO PROVIDE REPLACEMENT OF HABITAT FOR NATIVE BIRD, INSECT AND ANIMAL POPULATIONS. PLANTINGS SHALL BE "HYDROZONED" IN GROUPING OF LIKE WATER USAGE FOR MAXIMUM WATER CONSERVATION.

USE OF WATER-EFFICIENT IRRIGATION TECHNOLOGIES. DETAILED WATER-CONSERVING IRRIGATION PLAN PREPARED IN COMPLIANCE WITH STATE MODEL EFFICIENT WATER EFFICIENT LANDSCAPE ORDINANCE WILL BE INCLUDED IN THE FINAL LANDSCAPE PLANS. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE AMOUNT OF WATER USED FOR IRRIGATION PURPOSES. AUTOMATIC SYSTEMS WILL BE PREDOMINANTLY DRY SYSTEMS. DESIGN OF IRRIGATION SYSTEMS WILL PRECLUDE OVERSPRAY ONTO PAVED AREAS. ET CONTROLLERS WITH MOISTURE SENSORS WILL BE PROVIDED.

USE OF SURFACE MULCH AND SOIL AMENDMENTS TO ENHANCE WATER RETENTION. ALL NEWLY PLANTED AREAS SHALL RECEIVE AN APPLICATION OF WELL-ROTATED COMPOST (6 CUBIC YARDS PER 1000 SQUARE FEET) AND A TOP DRESSING OF BLOOD CHIP MULCH (1" DEEP MINIMUM).

BIO-RETENTION AREAS TO BE REVEGETATED WITH APPROPRIATE NATIVE SPECIES. SUCH AS: GOLDENROD, DEER GRASS, HOLATE FESCUE, WILLOWS 1 GAL. OR 5 GAL. SIZE



NATIVE RIPARIAN TREES. SUCH AS: PLATANUS RACEMOSA 15 / 15 GALLON SIZE

BIO-RETENTION AREAS TO BE REVEGETATED WITH APPROPRIATE NATIVE SPECIES. SUCH AS: GOLDENROD, DEER GRASS, HOLATE FESCUE, WILLOWS 1 GAL. OR 5 GAL. SIZE

STREET BUFFER PLANTINGS. NATIVE SHRUBS FOR SCREENING. SUCH AS: HETEROPHELES ARBUTIFOLIA, SAPHORUS CAERULEA, RUMEX CALIFORNICA 5 GAL. SIZE

NATIVE UNDERSTORY TREES. SUCH AS: CERCIS OCCIDENTALIS, AEROLIS CALIFORNICA 6" / 15 GALLON SIZE

NATIVE CANOPY TREES. SUCH AS: QUERCUS KELLOGGII 15" / 15 GALLON SIZE

LARGE SCALE, DROUGHT TOLERANT GROUNDCOVER. SUCH AS: ARCTOSTAPHYLOS UVA-URSI 1 GAL. SIZE / 4" O.C.

ORNAMENTAL SHRUB PLANTINGS. SUCH AS: REES BANGUENUM, FUNCA GRANATUM 'NANA', MYRTICA CALIFORNICA 9 GAL. SIZE / 4" O.C.

SMALL "POOL-FRIENDLY" TREES. SUCH AS: FELCIA BELLONIANA 'STANDARD' 9 / 9 GALLON SIZE

SMALL FLOWERING TREES. SUCH AS: LAGERSTROEMIA INDICA, VITEX AGNUS-CASTUS 15 / 15 GALLON SIZE

PERENNIAL COLOR PLANTINGS. SUCH AS: LAVANDULA SPECIES, SALVIA GREGGII 1 GAL. SIZE / 3" O.C.

EXISTING PINE TREES (TYP)

SEE DETAIL THIS SHEET FOR PAD DETAILS AND LANDSCAPING

MONUMENT SIGN

LARGE ACCENT SHRUBS. SUCH AS: COTINUS COGSGYRIA 5 GAL. SIZE

GAZEBO/ SITTING AREA

HORSHOE PITS 40" LONG

POOL FENCE

DECOMPOSED GRANITE

CANOPY TREES TO PROVIDE 40% PARKING LOT SHADE IN 10 YEARS. SUCH AS: PISTACIA CHINENSIS 14 / 15 GALLON SIZE

REQUIRED PARKING LOT SHRUB PLANTINGS. SUCH AS: COTINUS HYBRIDUS, BERNARDIS THUNDERBOLT 'ROSE GLOW' 9 GAL. SIZE / 4" O.C.

SMALL SCALE GROUNDCOVER. SUCH AS: THYLLIS SPECIES, SEDUM REPENS 'JANUS' 1 GAL. SIZE / 12" O.C.

NARROW FLOWERING TREES. SUCH AS: PUNIS TORAUER VERBIVUS 24 / 15 GALLON SIZE

NARROW TALL COLOR TREES. SUCH AS: ACER 'BOHALL' 18" / 15 GALLON SIZE

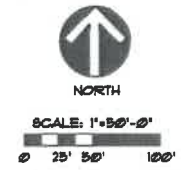
LARGE SHRUBS FOR SCREENING. SUCH AS: GARTIA ELLIPTICA, ARGENTUS UNICO, CERNOTIAS JULIA PHELPS 5 GAL. SIZE

UPRIGHT NARROW TREES. SUCH AS: CARPINUS BETULUS 'PASTIGIATA' 22 / 15 GALLON SIZE

LARGE CANOPY SHADE TREES. SUCH AS: ACER SACCHARUM 'BONFIRE', KOELREUTERIA PANICULATA 42 / 15 GALLON SIZE

RESTROOMS/SHOWERS

ALL AREAS NOT OTHERWISE LANDSCAPED SHALL BE RESTORED WITH NATIVE GRASS AND WILDFLOWER HYBRID.



McFROUD & ASSOCIATES
LANDSCAPE ARCHITECTURE

100 S. 1000
PHOENIX, ARIZONA 85001-3844
10000 CENTURY HILL ROAD, NEVADA CITY, CALIFORNIA 95959

TITLE		
PRELIMINARY LANDSCAPE PLAN		
SCALE	DATE	REVISIONS
1"=50'-0"	9/25/20	

GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CALIFORNIA

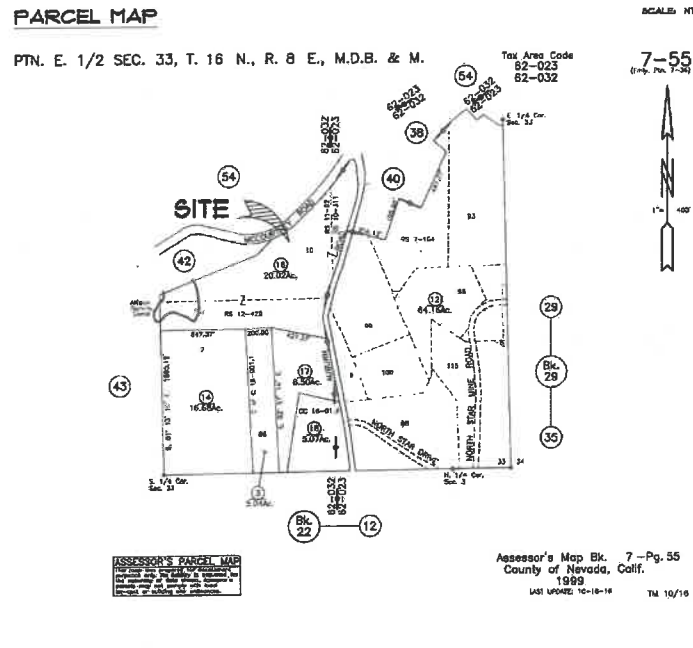
DRAWING NO. 1-9-1

GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD

RESPONSIBILITY NOTE:
 ACCORDING TO 7.07.00000 BUSINESS AND PROFESSIONS
 CODE §316.2, I _____, General Agent STATE LICENSE # 638088,
 HAVE PREPARED, SUPERVISED OR USED IN DIRECT
 RESPONSIBLE CONTROL OF THESE PLANS WHICH ARE
 PREPARED TO ALL APPLICABLE STATE CODES AND
 ORDINANCES TO THE BEST OF MY KNOWLEDGE.
 Signed: _____ Date 05/22/21

GRAHAM KRAUSE
ARCHITECT
16965 Old Downieville Hwy.
Nevada City, CA. 95959
530.277.3305
GrahamKrause@Gmail.com

GKA



	BUILDING ELEVATION REFERENCE		ROOM NAME ROOM NUMBER		WALL TYPE TAG
	INTERIOR ELEVATION REFERENCE		FRESH FLOOR LEVEL ELEVATION HEIGHT		EQUIPMENT NUMBER
	DETAIL REFERENCE		WALL LINWORD		REVISION NUMBER
			SHEAR WALL LENGTH		DOOR & WINDOW NUMBER

Survey Company:
DDGEO
Dundas Geomatics
149 Crown Point C
Grass Valley, Ca.
930-214-1616

3). FIRE FLOW REQUIREMENTS BY CONSTRUCTION TYPE:
a). TYPE I-B, 0 - 5,000 SF = 1,500 GPM
b). TYPE V-B, 3,801 - 4,800 SF = 1,750 GPM
c). BOTH FLOW REQUIREMENTS ARE FOR A DURATION OF 2 HOURS
WITH A RESIDUAL OF 20 PSI.

GRASS VALLEY RV RESORT
11425 McCOURTNEY ROAD
COVER SHEET

NEVADA COUNTY

1

1

1

1

10

10

1

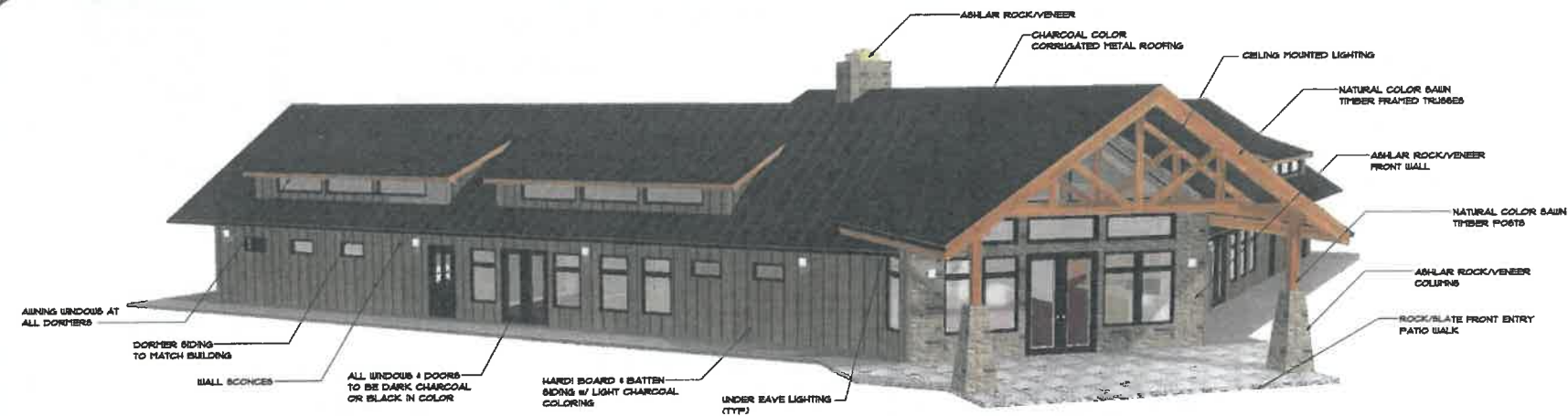
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MAY

DATA

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1



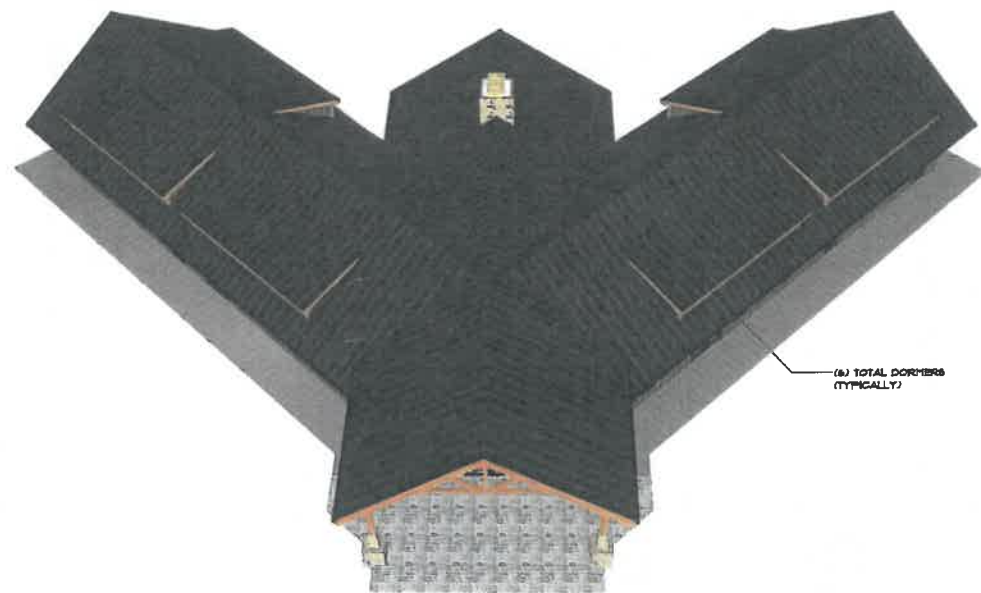
FRONT-LEFT CONCEPTUAL

SCALE: NTS



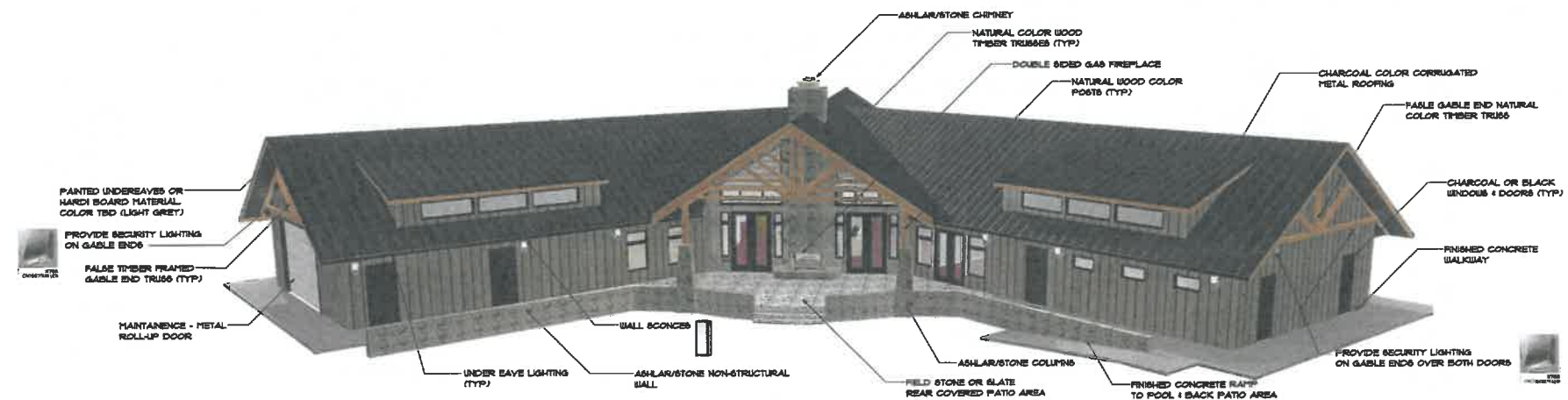
FRONT-RIGHT CONCEPTUAL

SCALE: NTS



TOP ROOF CONCEPTUAL

SCALE: NTS



REAR CONCEPTUAL

SCALE: NTS

DESIGN CLAUSE

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY WORK ADJUSTMENTS, CHANGES, OR MODIFICATIONS THAT MAY OCCUR FROM PLANS MUST BE SUBMITTED TO THE DESIGNER PRIOR TO ANY FURTHER CONTINUATION OF WORK & MUST THEN BE SUBMITTED TO THE BUILDING DEPT. FOR REVIEW. ANY CHANGES OR MODIFICATIONS TO THESE PLANS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER SHALL RESULT IN VIOLATION OF CONTRACT, AND THE OWNER OR CONTRACTOR WILL BE HELD RESPONSIBLE. All proposed projects may not draw or reflect all aspects of the job and may require additional drawings during the construction process. Please consult with Design or Engineer when questionable drawings do not reflect the plans. Designer and Engineer can not be held responsible for unshown circumstances.



GKA
Graham Krease - Architect
19565 Old Downville Hwy.
Nevada City, CA. 95959
916.771.1305

PERSPECTIVE
DRAWINGS
RICK A. BOUDRY
GRASS VALLEY, CA 95945
EMAIL: TO: rick@boudry.com

REVISION	DATE

EXTERIOR CONCEPTUAL
DRAWINGS

GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CA.

DATE: 1/3/20

PAGE *

A2

OR SHEETS



GK A

REVISIONS	
1	Initial Design
2	Revised Design
3	Final Design

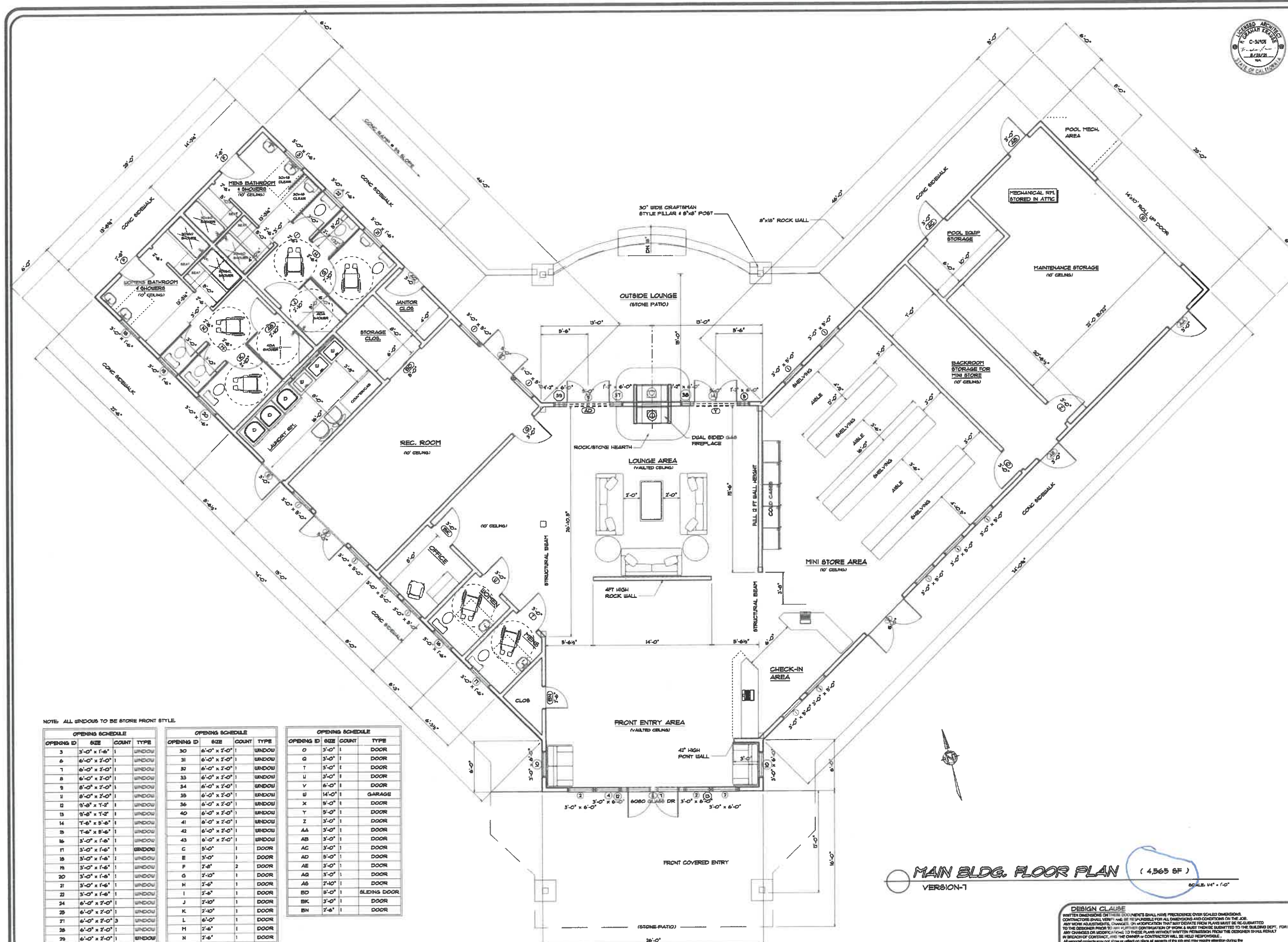
MAIN BUILDING FLOOR PLAN

10

PAGE

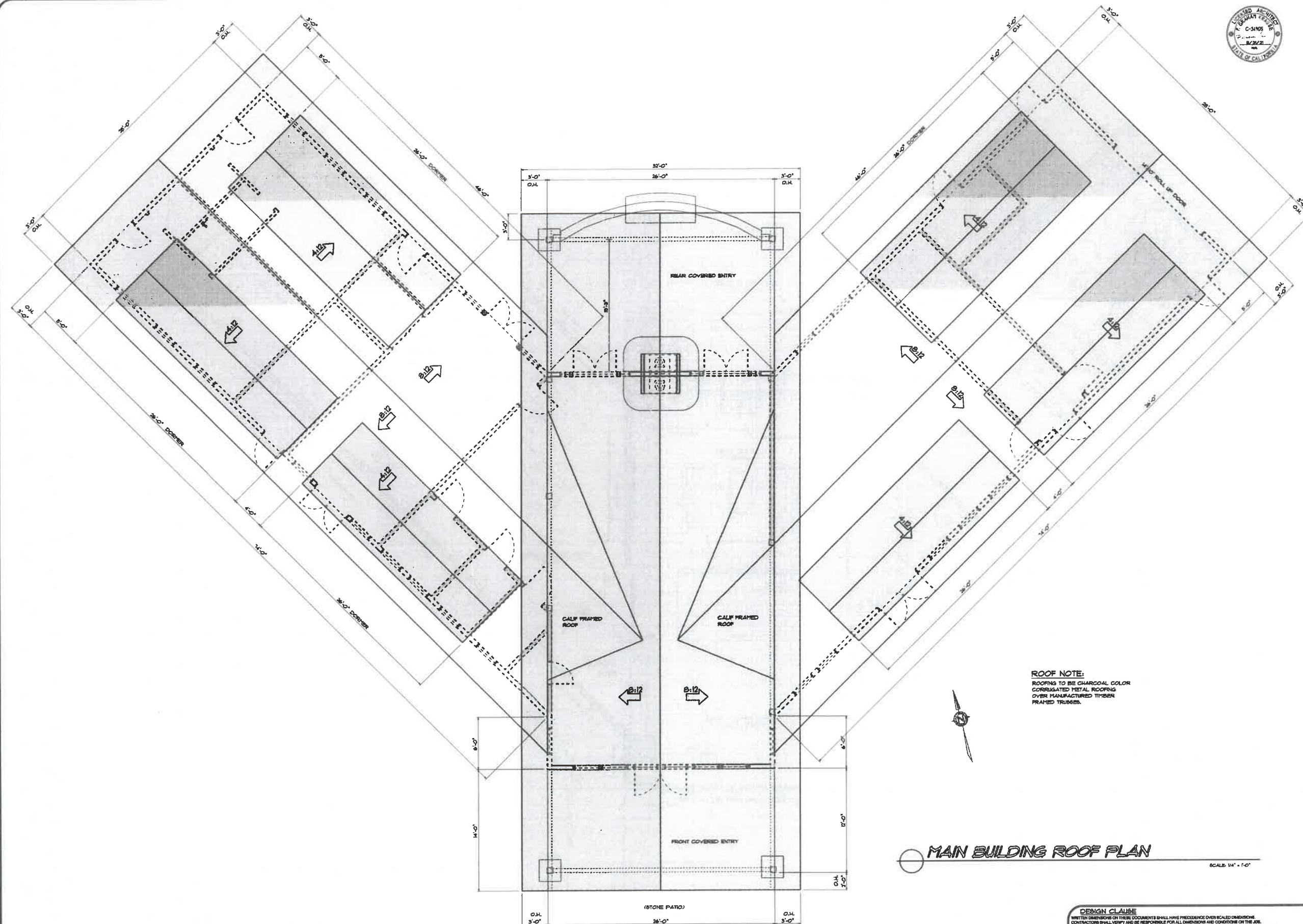
(A3)

OF SHEET



DESIGN CLAUSE

WORKING DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND COORDINATION FOR THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONS THAT MAY DEVIATE FROM PLANS MUST BE SUBMITTED TO THE DESIGNER PRIOR TO ANY FURTHER CONTINUATION OF WORK. A REQUEST MUST BE SUBMITTED TO THE BUILDING DEPT. FOR ANY CHANGES IN WORKING DIMS TO THESE PLANS WITHOUT VIOLATION FROM THE DESIGNER SHALL RESULT IN BREACH OF CONTRACT. ANY REQUESTS OR CONTRACT WILL BE HELD RESPONSIBLE. ALL WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO. ANY WORK NOT IN ACCORDANCE WITH THE CITY OF CHICAGO SHALL BE REJECTED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE WORK. ANY WORK NOT IN ACCORDANCE WITH THE CITY OF CHICAGO SHALL BE REJECTED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE WORK. ANY WORK NOT IN ACCORDANCE WITH THE CITY OF CHICAGO SHALL BE REJECTED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE WORK.



ROOF NOTE:
 ROOFING TO BE CHARCOAL COLOR
 CORRUGATED METAL ROOFING
 OVER MANUFACTURED TIMBER
 FRAMED TRUSSES.

MAIN BUILDING ROOF PLAN

SCALE: 1/4" = 1'-0"

DESIGN CLAUSE

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY WORK ADJUSTMENTS, CHANGES, OR MODIFICATIONS THAT MAY DEVIATE FROM PLANS MUST BE SUBMITTED TO THE DESIGNER PRIOR TO ANY FURTHER CONTINUATION OF WORK. A SILENT THEN BE SUBMITTED TO THE BUILDING DEPT. FOR REVIEW. ANY CHANGES OR MODIFICATIONS TO THESE PLANS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER SHALL RESULT IN BREACH OF CONTRACT, AND THE OWNER OR CONTRACTOR WILL BE HELD RESPONSIBLE. All reserved projects may not show or reflect on items all aspects of the job and may require attention during the construction process. Please consult with Designer or Engineer when circumstances change or do not reflect the plans. Designer and Engineer cannot be held responsible for unapproved construction.



GKA
 Graham Krause - Architect
 10988 Old Downville Hwy.
 Nevada City, CA. 95959
 530.271.1308

**PERSPECTIVE
 DRAFTING DESIGNS**
 RICK A. BISHOP
 DRAFTSMAN
 10988 OLD DOWNVILLE HWY.
 NEVADA CITY, CA. 95959
 EMAIL TO: rick@perspectivedesigns.com

REVISION	DATE

MAIN BUILDING ROOF LAYOUT

PROJECT: RTT ADDRESS
GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CA.

DATE: 5/18/21

PAGE: 4

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OF 2 SHEETS

AFN 008-450-084



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15555 Old Dornerville Hwy.
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950.271.1305

**PERSPECTIVE
DRAWINGS**
RICK A. BRUNFIELD
ARCHITECT
10011 10th Street, Suite 100
Nevada City, CA 95959
950.271.1305

REVISIONS	DATE

ELEVATIONS - FRONT & LEFT

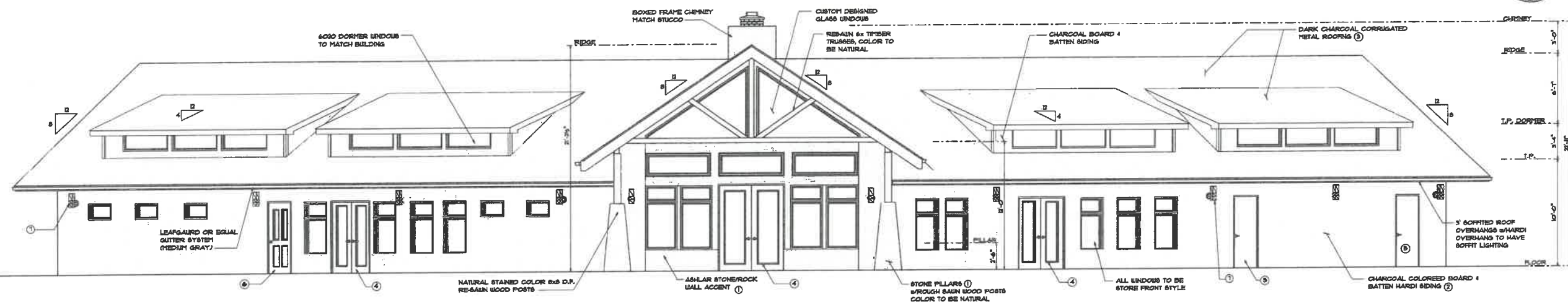
DESIGN FOR: SITE ADDRESS
GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CA.

DATE: 1/3/20

PAGE: 1

A5

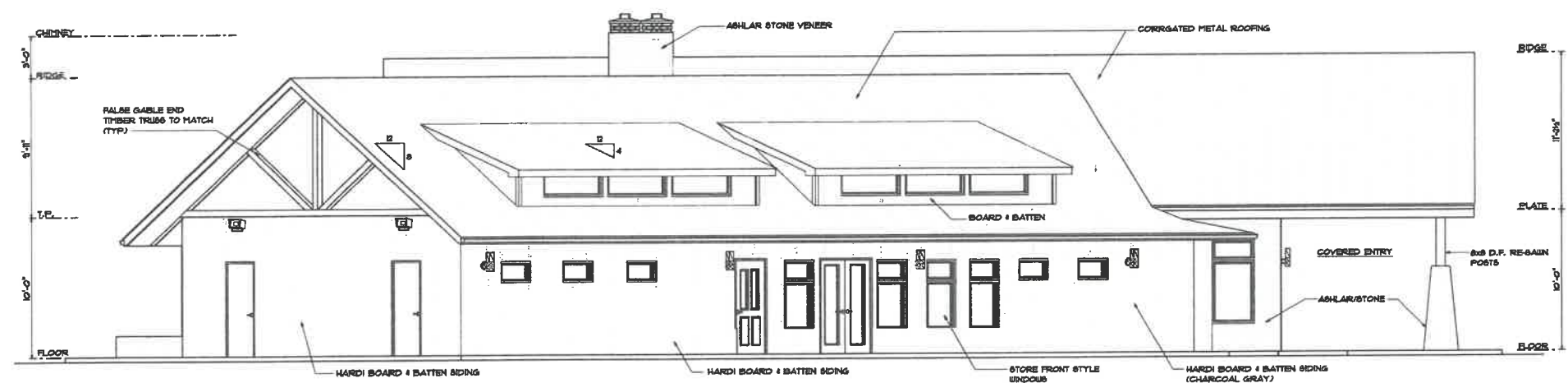
APN 008-430-054



FRONT ELEVATION
(SOUTH VIEW)
SCALE: 1/4" = 1'-0"

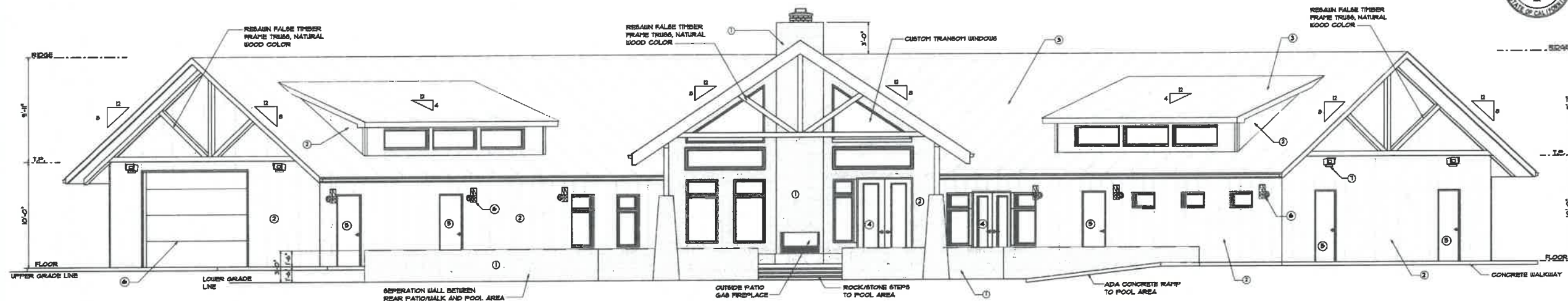
MATERIALS LEGEND

- | | | | |
|---|---|---|--|
| 1 | ASHLAR STONE/ROCK | 5 | SOLID CORE METAL EXTERIOR DOOR |
| 2 | CHARCOAL GRAY HARDI BOARD & BATTEN SIDING | 6 | STEEL DOOR & WINDOW ACCENT, COLOR TO BE WHITE OR TAN |
| 3 | TUFF-RED BRAND DARK CHARCOAL CORRUGATED METAL ROOFING | 7 | WALL SCONCE LIGHTING |
| 4 | METAL STORE FRONT GLASS DOOR & WHITE/LIGHT COLOR | | |



LEFT ELEVATION
(WEST VIEW)
SCALE: 1/4" = 1'-0"

DESIGN CLAUSE
WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY WORK ALTERNATE, CHANGES, OR ADDITIONS THAT ARE SUBMITTED TO THE DESIGNER MUST BE SUBMITTED TO THE DESIGNER PRIOR TO ANY FURTHER CONSTRUCTION OF WORK & MUST BE SUBMITTED TO THE DESIGNER WITH A SIGNED AND DATED CHANGE ORDER. ANY CHANGES OR MODIFICATIONS TO THESE PLANS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER SHALL RESULT IN A BREACH OF CONTRACT, AND THE OWNER OR CONTRACTOR WILL BE HELD RESPONSIBLE. All record prints are not to be used as a basis for construction. All record prints are not to be used as a basis for construction. All record prints are not to be used as a basis for construction.

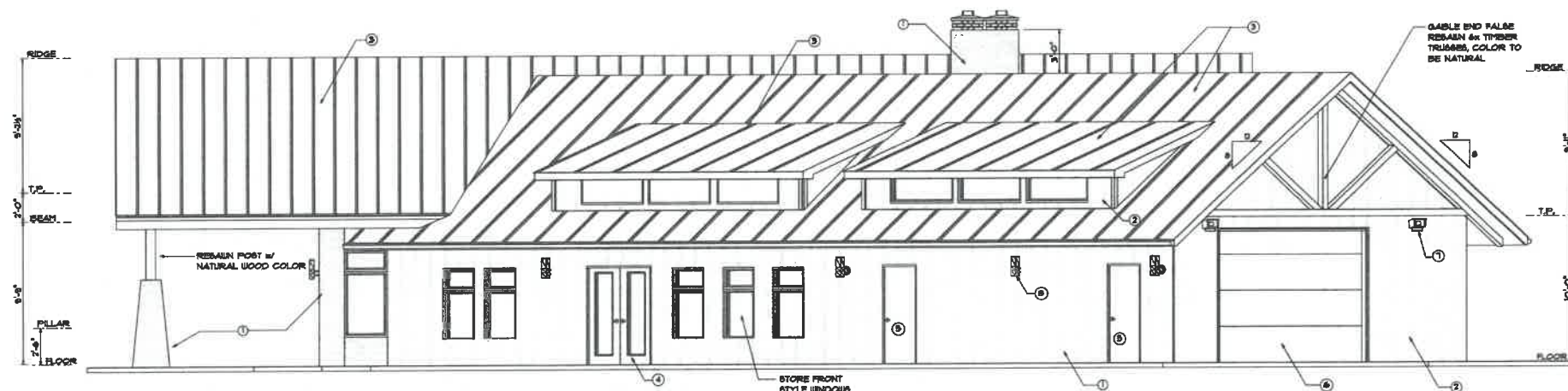


REAR ELEVATION
(NORTH SIDE)

SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- | | | | |
|---|---|---|---|
| 1 | ASHLAR STONE/ROCK | 6 | SOLID CORE METAL EXTERIOR DOOR, BLACK OR CHARCOAL COLOR |
| 2 | CHARCOAL GRAY HARDI BOARD + BATTEN SIDING | 7 | EXTERIOR WALL SCENE LIGHTING, BLACK TRIM, GLAZED GLASS |
| 3 | TUFF-RED BRAND DARK CHARCOAL CORRUGATED METAL ROOFING | 8 | SECURITY LIGHTING ON GABLE ENDS |
| 4 | METAL STORE FRONT GLASS DOOR w/ BLACK OR CHARCOAL COLOR | | |



RIGHT ELEVATION
(EAST SIDE)

SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- | | | | | | |
|---|---|---|--------------------------------|---|------------------------------|
| 1 | ASHLAR STONE/ROCK | 6 | SOLID CORE METAL EXTERIOR DOOR | 7 | SECURITY LIGHT AT GABLE ENDS |
| 2 | CHARCOAL GRAY HARDI BOARD + BATTEN SIDING | 7 | EXTERIOR WALL SCENE LIGHTING | | |
| 3 | TUFF-RED BRAND DARK CHARCOAL CORRUGATED METAL ROOFING | | | | |
| 4 | METAL STORE FRONT GLASS DOOR w/ WHITE/LIGHT COLOR | | | | |

DESIGN CLAUSE

WRITTEN CONSTRUCTION OF THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER ANY OTHER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY WORK ADJUSTMENTS, OMISSIONS, OR MODIFICATIONS THAT MAY DEVIATE FROM PLANS MUST BE SUBMITTED TO THE DESIGNER IN WRITING FOR APPROVAL. ANY CHANGES ON MODIFICATIONS TO THESE PLANS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER SHALL BEAT IN BREACH OF CONTRACT, AND THE OWNER OR CONTRACTOR WILL BE HELD RESPONSIBLE. All recorded projects may not show or reflect on plans all aspects of the job and may require alterations during the construction process. Please consult with Design or Engineer when circumstances change. Do not reflect the plans. Design and Engineering can not be held responsible for errors or omissions.



Graham Krause - Architect
16565 Old Donnellville Hwy.
Nevada City, CA, 95959
950.771.3308

PROSPECTIVE
DESIGNERS
RICK A. KRAUSE
16565 OLD DONNELLVILLE HWY.
NEVADA CITY, CA 95959
950.771.3308

ELEVATIONS - REAR & RIGHT

DESIGN FOR: SITE ADDRESS
GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CA.

DATE: 1/3/20

PAGE: 6

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OF SHEETS



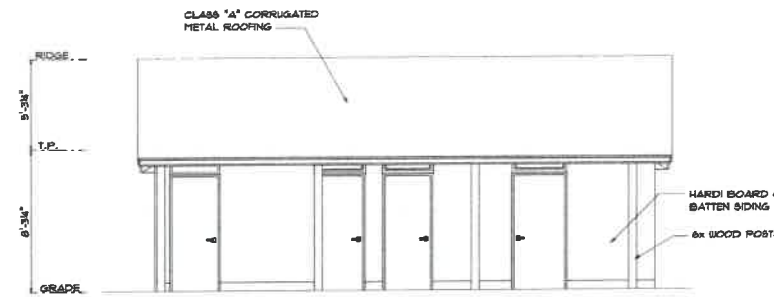
FRONT CONCEPTUAL



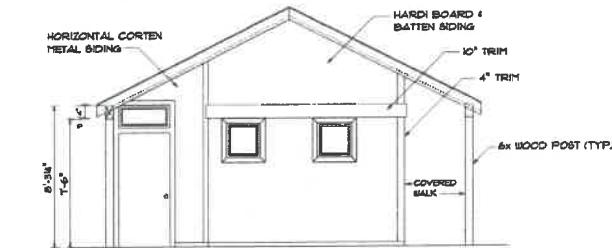
REAR CONCEPTUAL



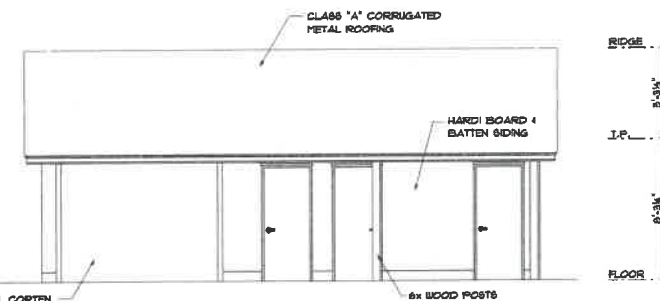
RIGHT CONCEPTUAL



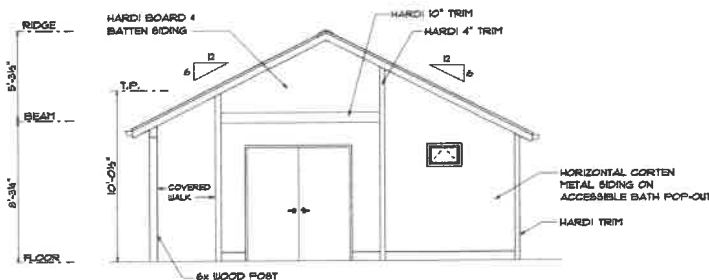
FRONT ELEVATION
BATHROOM/SHOWER BLDG
SCALE: 1/4" = 1'-0"



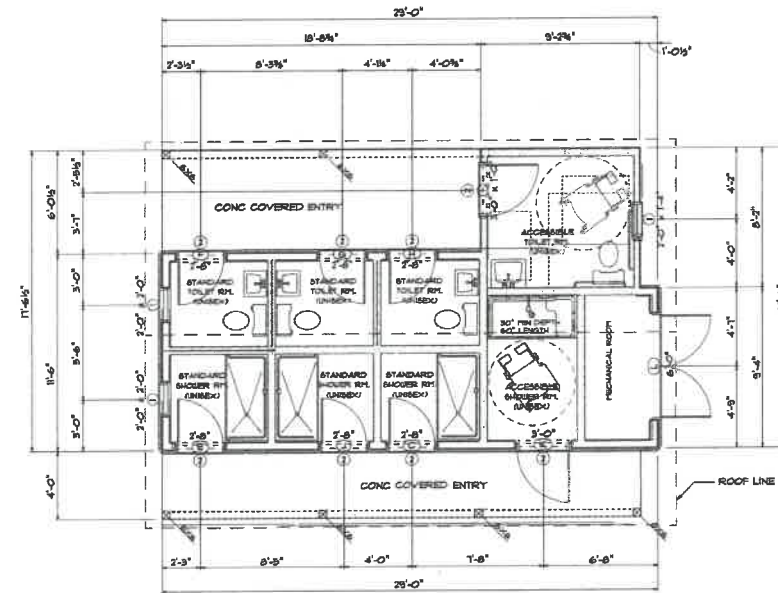
LEFT ELEVATION
BATHROOM/SHOWER BLDG
SCALE: 1/4" = 1'-0"



REAR ELEVATION
BATHROOM/SHOWER BLDG
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
BATHROOM/SHOWER BLDG
SCALE: 1/4" = 1'-0"



BATHROOM/SHOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



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916.271.1305

PERSPECTIVE
DRAWINGS
RICK A. BRUHLER
GRASS VALLEY, CA 95945
916.271.1305

REVISIONS	DATE

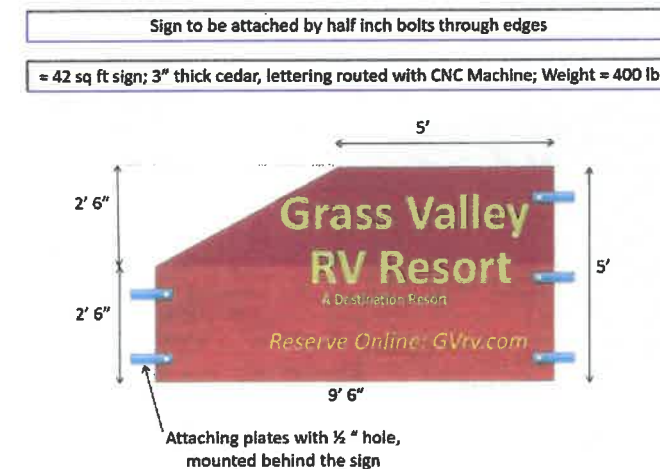
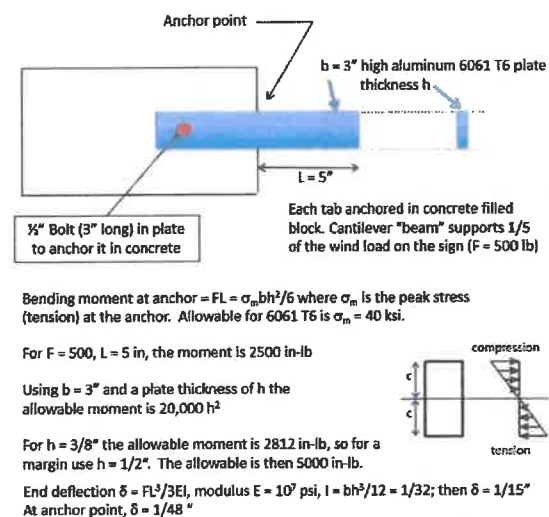
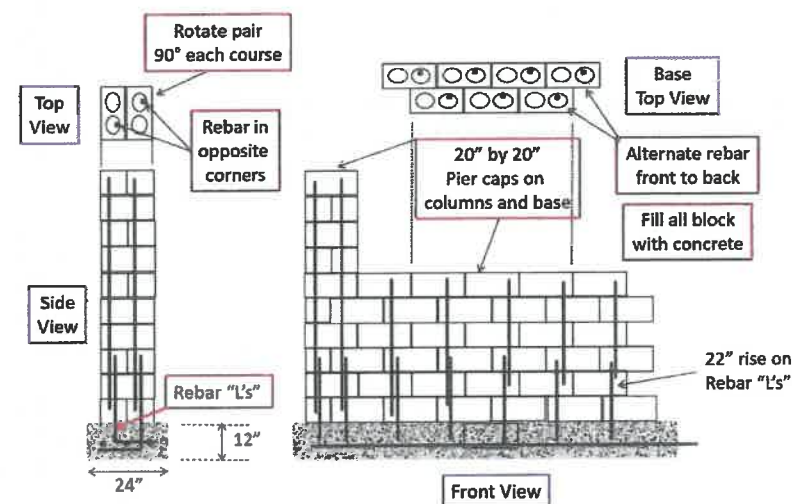
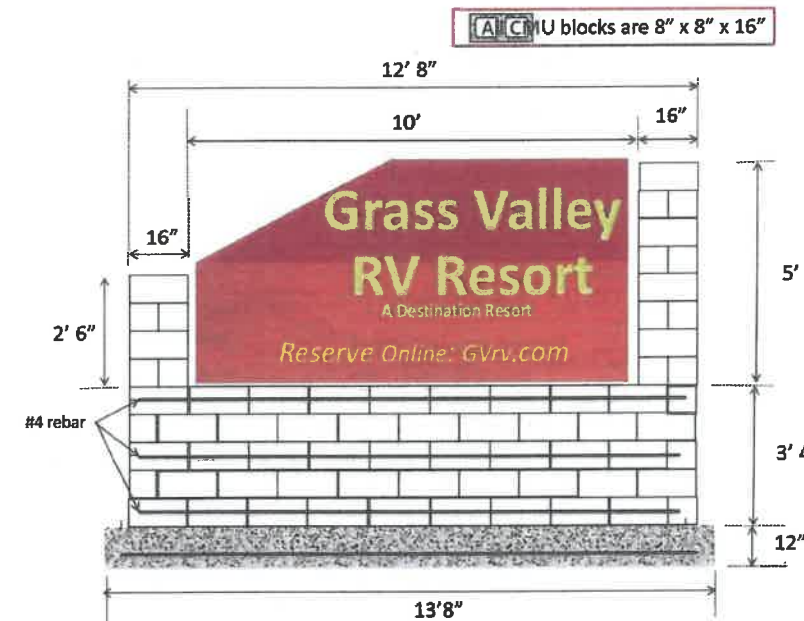
DETACHED BATHROOM/SHOWER
BUILDINGS 2, 3, & 4

GRASS VALLEY RV RESORT
11425 MCCOURTNEY ROAD
GRASS VALLEY, CA.
APN 008-430-054

DATE: 1/3/20
PAGE: 1

A1
SHEET 6

DESIGNER'S NOTE: THE OWNER SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY WORK ADJUSTMENTS, CHANGES, OR MODIFICATIONS THAT MAY DEVIATE FROM PLANS MUST BE SUBMITTED TO THE DESIGNER PRIOR TO ANY FURTHER CONSTRUCTION OF WORK BEING SUBMITTED TO THE BUILDING DEPT. FOR REVIEW. ANY CHANGES OR MODIFICATIONS TO THESE PLANS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER SHALL RESULT IN BREACH OF CONTRACT. THE OWNER OR CONTRACTOR WILL BE HELD RESPONSIBLE. All work shall be done in accordance with the construction process. Please consult with Design or Engineer when questionable findings do not reflect the plans. Designer and Engineer shall not be held responsible for construction errors.



DESIGN CLAUSE



GRA88 VALLEY RV RESORT
11425 McCOURTNEY ROAD
GRA88 VALLEY, CA.

Grass Valley RV Resort - Site Lighting

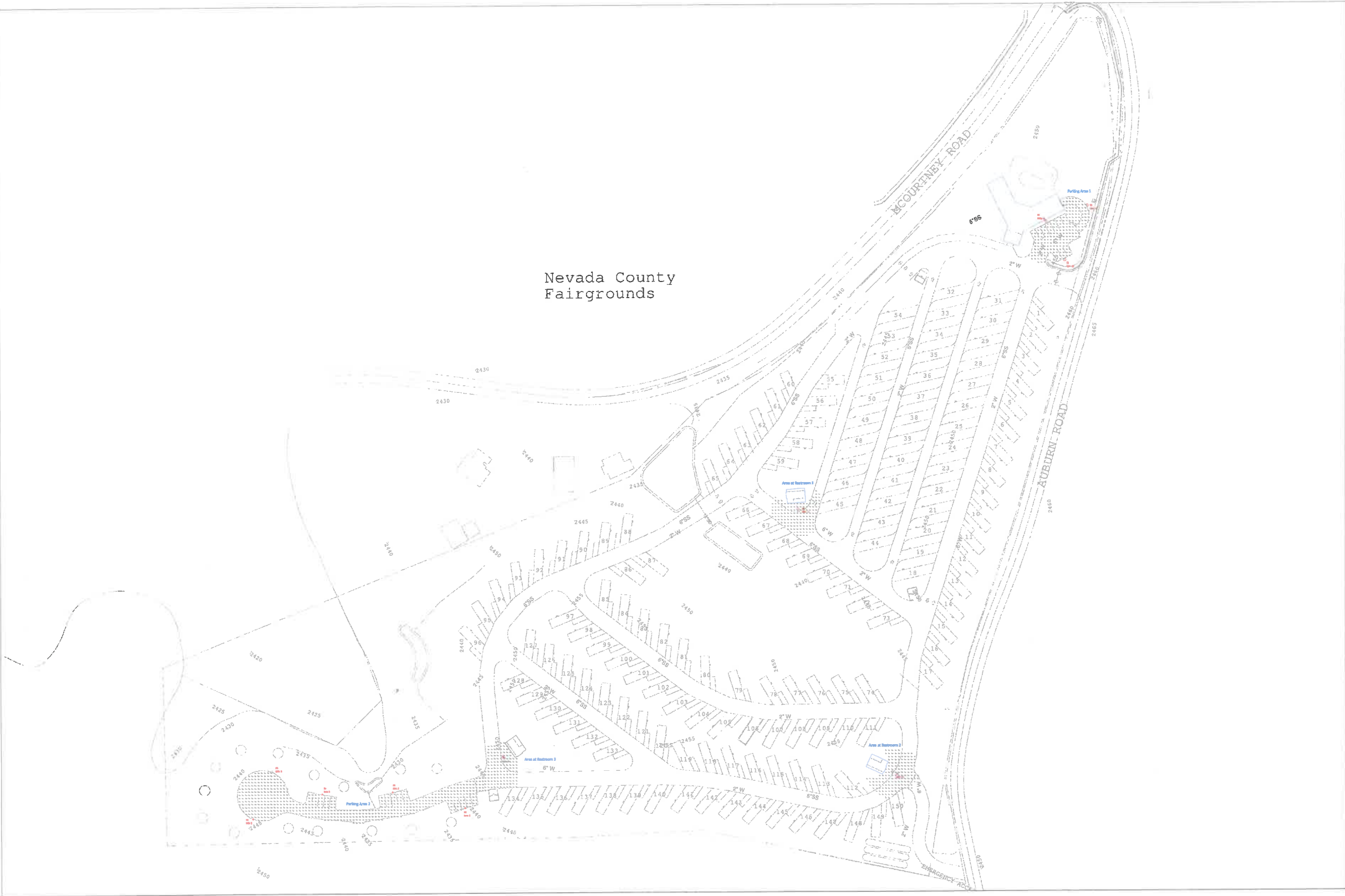
Sales Contact:
Brett Dulong
916-955-3105
brettd@ltgsys.com

Filename: Grass Valley RV Resort_JS_09-16-20 - REV02.AGI

DISCLAIMER:
This lighting calculation report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify the information provided (space dimensions, fixture mounting heights, surface reflectances, etc.) to ensure the accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated when using the calculation software and as such Lighting Systems cannot guarantee lighting levels.

Date: 9/16/2020

Calcs by: Brian Franco
Phone: (510)-982-3938
brianf@ltgsys.com



Plan View
Scale: 1 inch= 50 Ft.

Luminaire Schedule					
Symbol	Qty	Fixture Type	Manufacturer and Part Number	LLF	Lumens Watts
	3	E1	Kim Lighting - UR20-56L-75-3K7-4W-UNV (on 16ft pole + 3ft base)	0.903	9447 75
	2	E3	Kim Lighting - UR20-28L-70-3K7-5W-HDL-UNV (on 12ft pole)	0.903	6628 70
	5	E4	Kim Lighting - VRB1-15L-3K-UV	0.903	784 19
	1	E5	Kim Lighting - VRB1-20L-3K-UV	0.903	1120 25

- NOTES:
- The luminaire fixture types and part numbers included on the schedule above are for photometric purposes only and may need to be revised for real world conditions. Please refer to the manufacturer specification sheets and make sure to confirm voltages, finishes, mounting options, dimming and control options, accessories, etc. before specifying and/or ordering the fixtures.
 - LLF= Light Loss Factor = Lamp Lumen Depreciation (LLD) x Lamp Dirt Depreciation (LDD) = 0.95 x 0.95 = 0.90
 - The "MH" tag beneath the fixture type designations shown in plan view indicates fixture mounting height AFF (above finished floor).

Illuminance Calculation Summary						
Calculation: Grid Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Area at Restroom 1	Fc	1.43	7.9	0.1	14.30	79.00
Area at Restroom 2	Fc	1.35	8.1	0.1	13.50	81.00
Area at Restroom 3	Fc	0.23	3.7	0.0	N.A.	N.A.
Parking Area 1	Fc	2.40	6.3	0.6	4.00	10.50
Parking Area 2	Fc	0.12	4.4	0.0	N.A.	N.A.

Grass Valley RV Resort - Site Lighting

Sales Contact:
Brett Dulong
916-955-3105
brettd@ltgsys.com

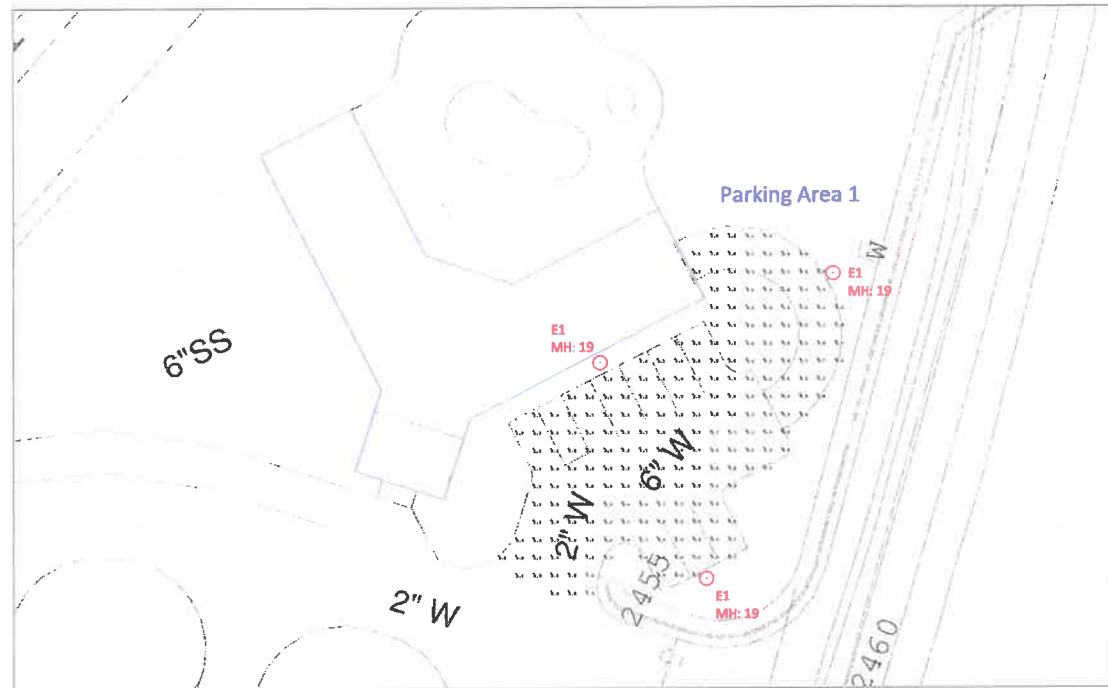
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DISCLAIMER:

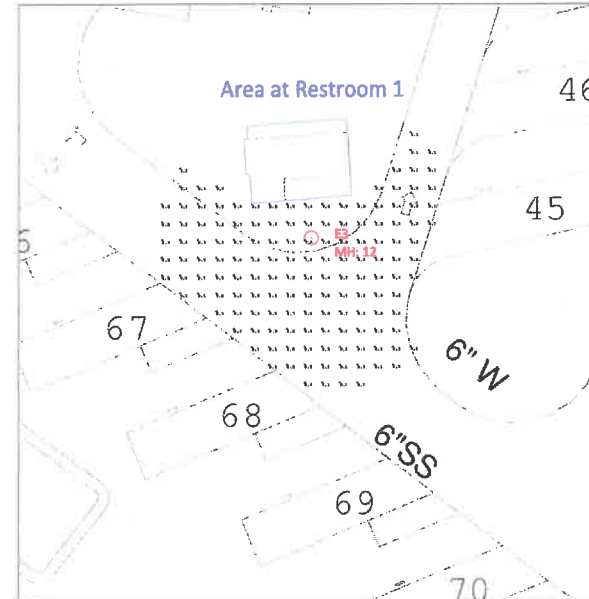
This lighting calculation report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify the information provided (space dimensions, fixture mounting heights, surface reflectances, etc.) to ensure the accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated when using the calculation software and as such Lighting Systems cannot guarantee lighting levels.

Date: 9/16/2020

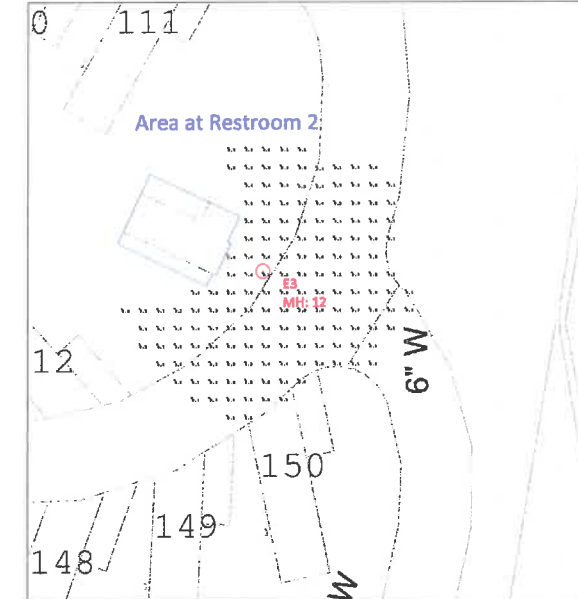
Calcs by: Brian Franco
Phone: (510)-982-3938
brianf@ltgsys.com



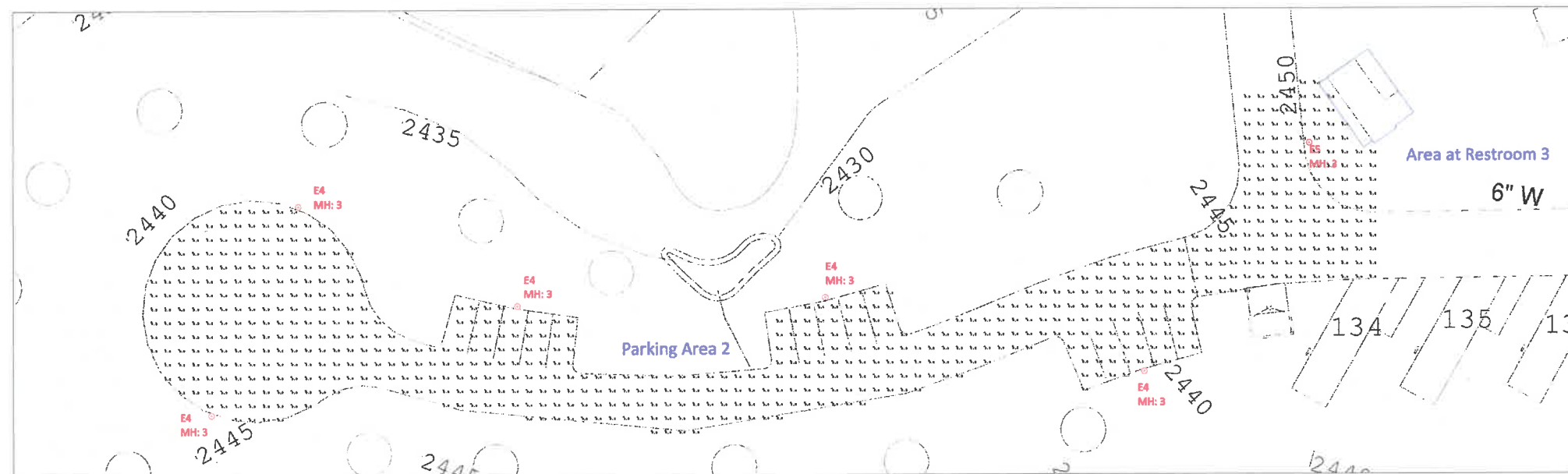
Plan View - Parking Area 1
Scale: 1 inch= 16 Ft.



Plan View - Restroom 2
Scale: 1 inch= 16 Ft.



Plan View - Restroom 2
Scale: 1 inch= 16 Ft.



Plan View - Parking Area 2 and Restroom 3
Scale: 1 inch= 16 Ft.

Luminaire Schedule						
Symbol	Qty	Fixture Type	Manufacturer and Part Number	LLF	Lumens	Watts
	3	E1	Kim Lighting - UR20-56L-75-3K7-4W-UNV (on 16ft pole + 3ft base)	0.903	9447	75
	2	E2	Kim Lighting - UR20-28L-70-3K7-5W-HDL-UNV (on 12ft pole)	0.903	6628	70
	5	E4	Kim Lighting - VRB1-15L-3K-UV	0.903	784	19
	1	E5	Kim Lighting - VRB1-20L-3K-UV	0.903	1120	25

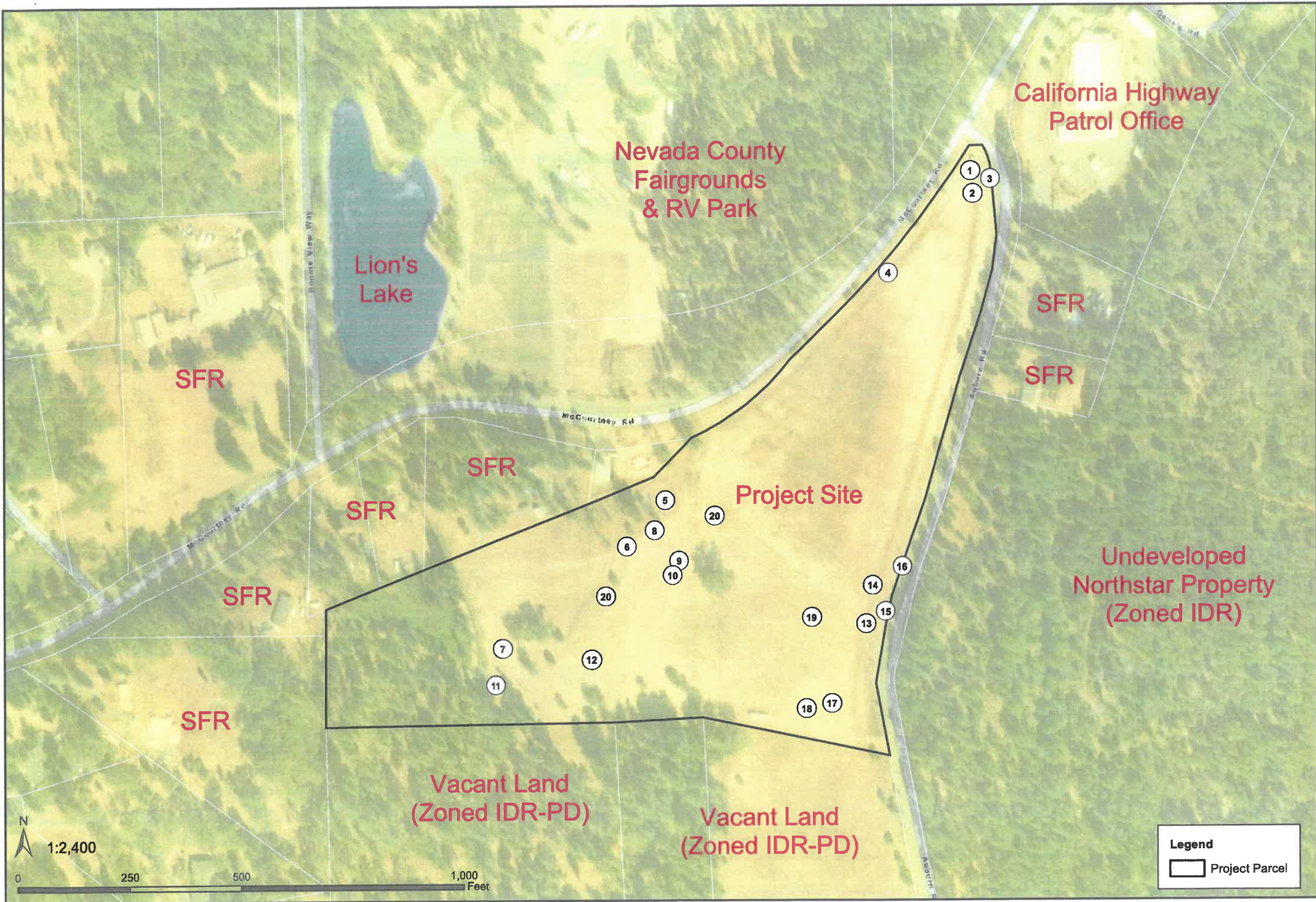
NOTES:

1. The luminaire fixture types and part numbers included on the schedule above are for photometric purposes only and may need to be revised for real world conditions. Please refer to the manufacturer specification sheets and make sure to confirm voltages, finishes, mounting options, dimming and control options, accessories, etc. before specifying and/or ordering the fixtures.

2. LLF = Light Loss Factor = Lamp Lumen Depreciation (LLD) x Lamp Dirt Depreciation (LDD) = 0.95 x 0.95 = 0.90

3. The "MH" tag beneath the fixture type designations shown in plan view indicates fixture mounting height AFF (above finished floor).

Illuminance Calculation Summary						
Calculation Grid Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Area at Restroom 1	Fc	1.43	7.9	0.1	14.30	79.00
Area at Restroom 2	Fc	1.35	8.1	0.1	13.50	81.00
Area at Restroom 3	Fc	0.23	3.7	0.0	N.A.	N.A.
Parking Area 1	Fc	2.40	6.3	0.6	4.00	10.50
Parking Area 2	Fc	0.12	4.4	0.0	N.A.	N.A.



Grass Valley RV Park
Site Photos Exhibit

Site Photos Exhibit
(See Photo Log)
Date: 1/27/2020

Sheet No:

3.0

Photo Log – Grass Valley RV Park

See Figure 1: Site Photos Exhibit



Photo 1: Looking southwest from corner of McCourtney Road and Auburn Road

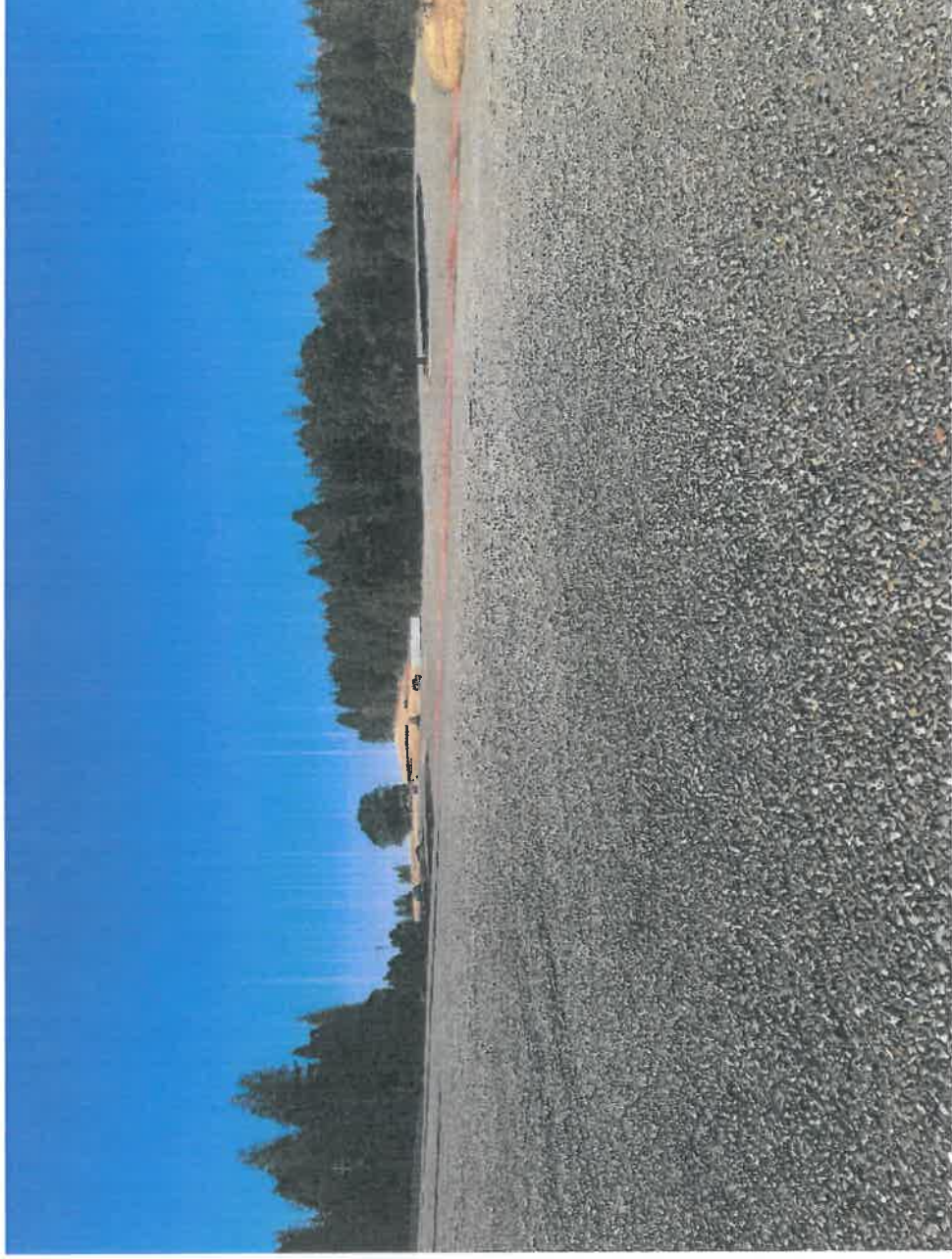


Photo 2: Looking southwest from corner of McCourtney Road and Auburn Road towards center of parcel



Photo 3: Looking south along Auburn Road

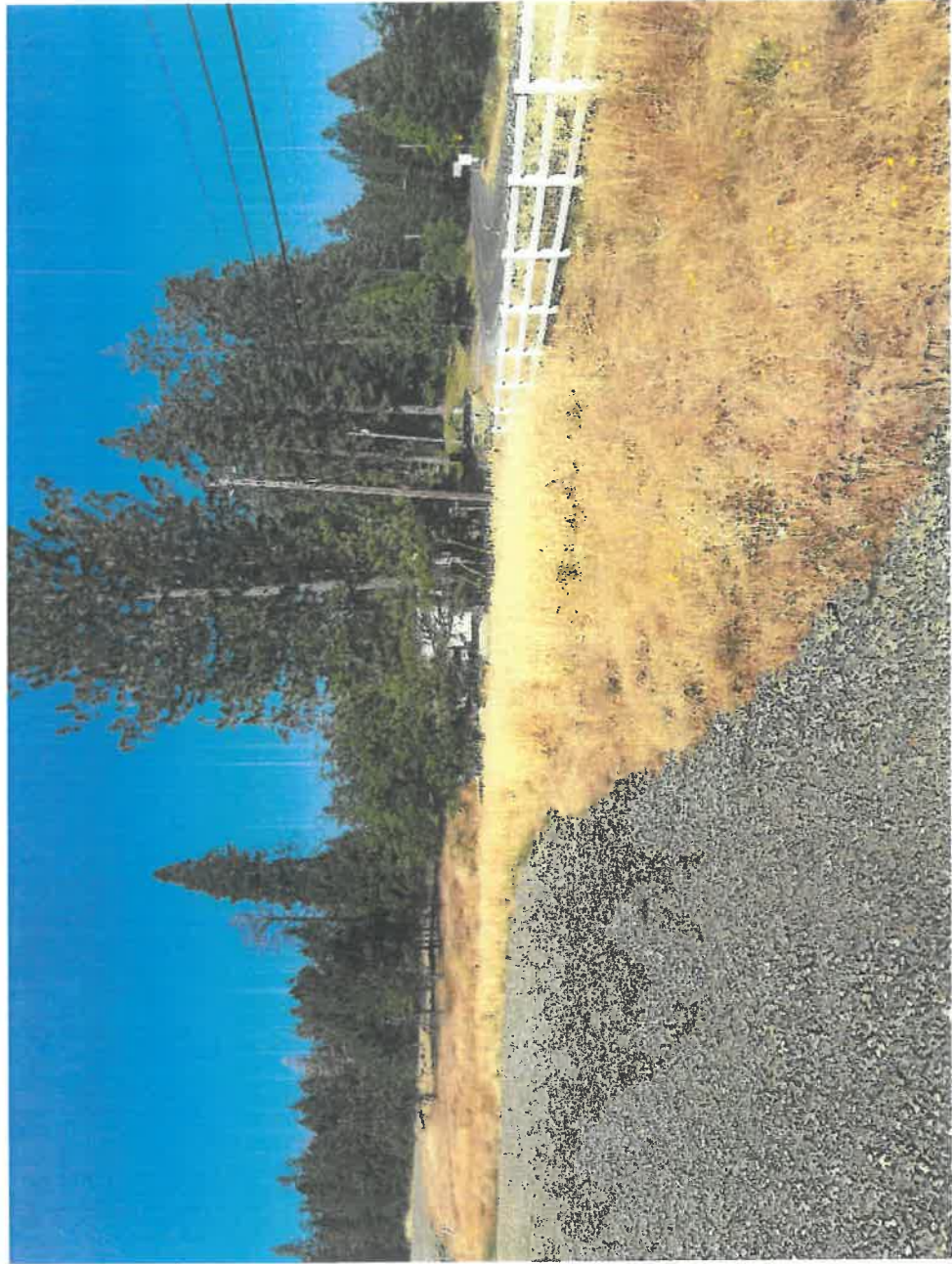


Photo 4: Looking west along McCartney Road

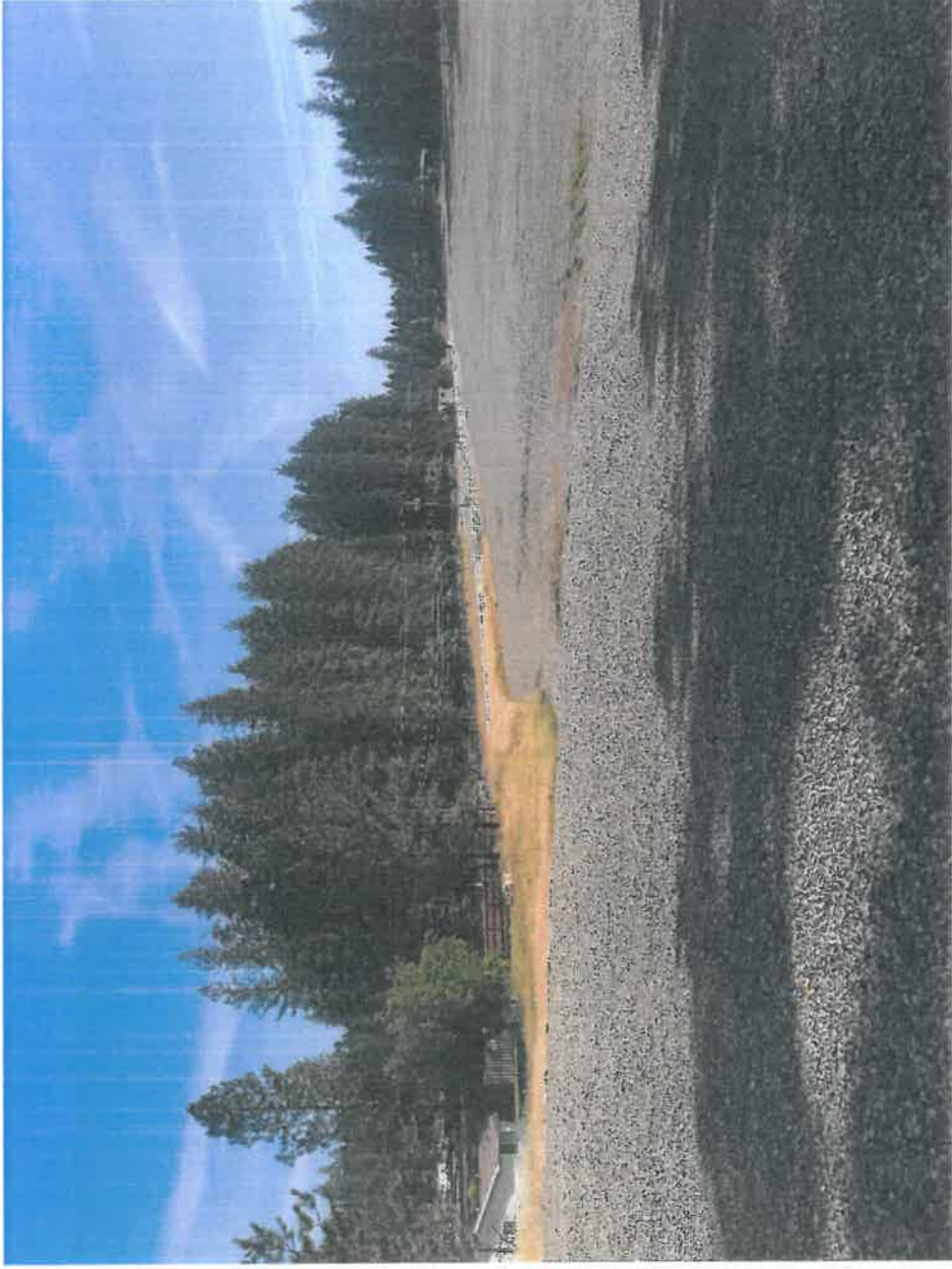


Photo 5: Looking northeast

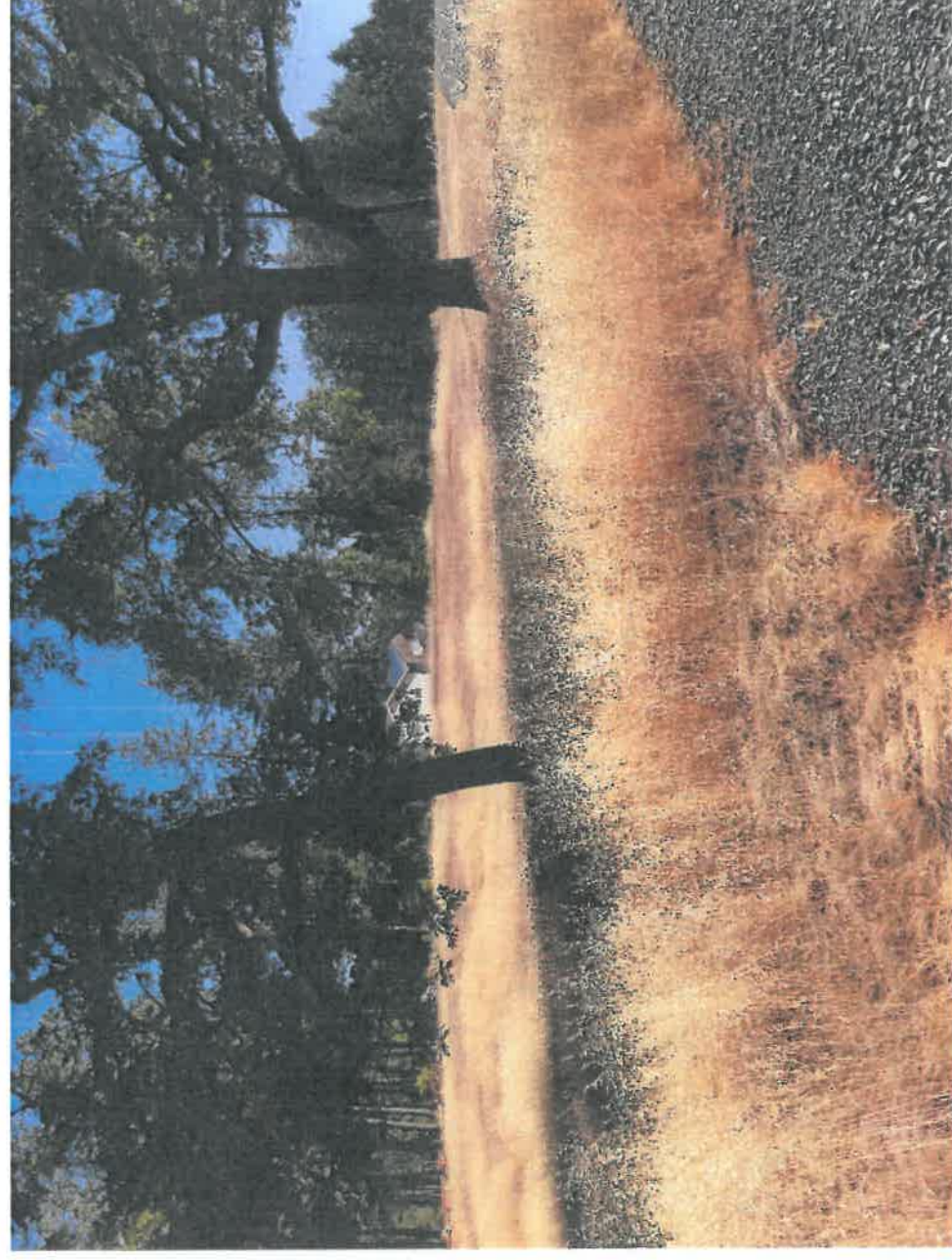


Photo 6: Looking north

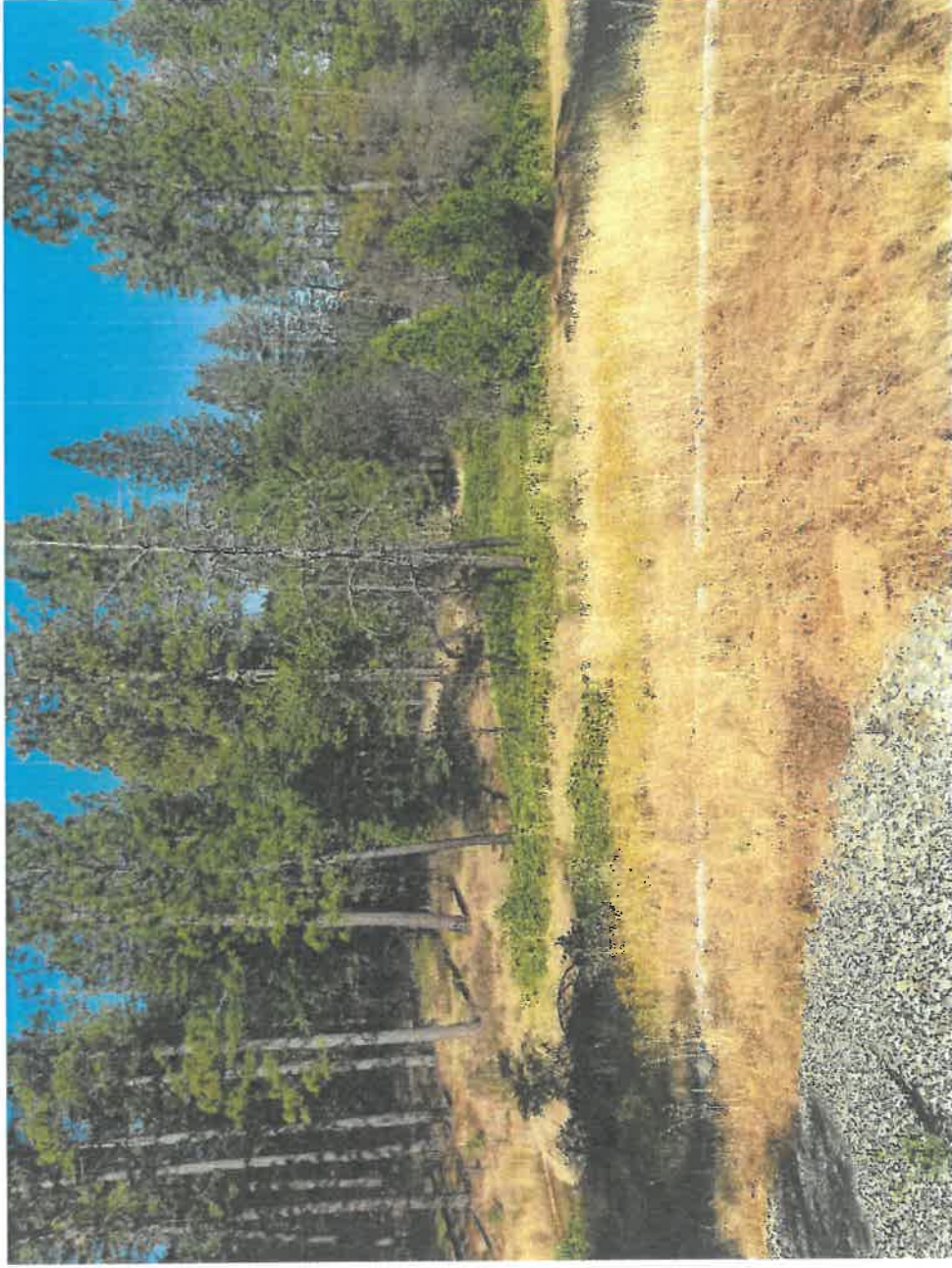


Photo 7: Looking west towards future glamping area

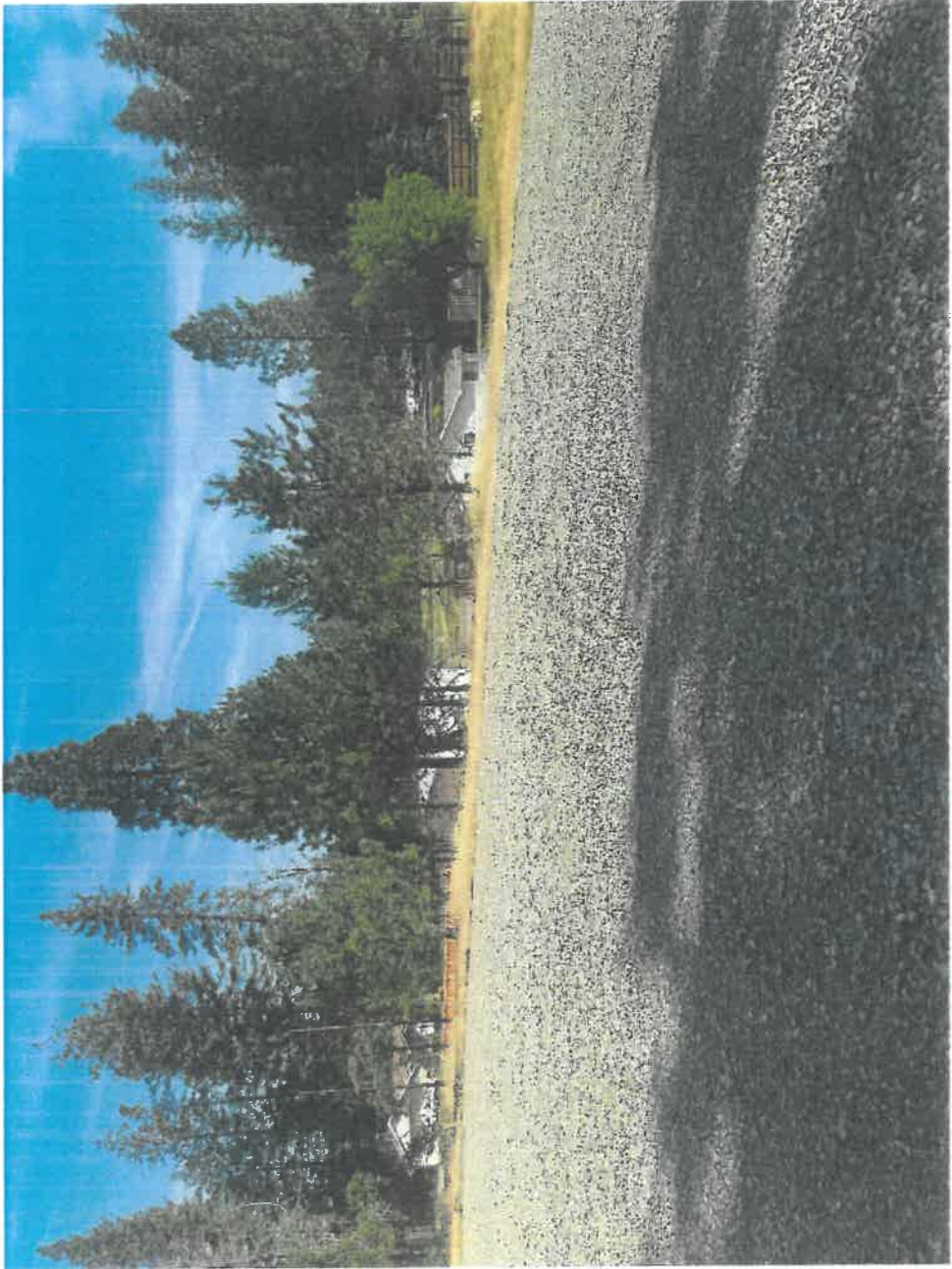


Photo 8: Looking north towards existing homes



Photo 9: Looking southwest

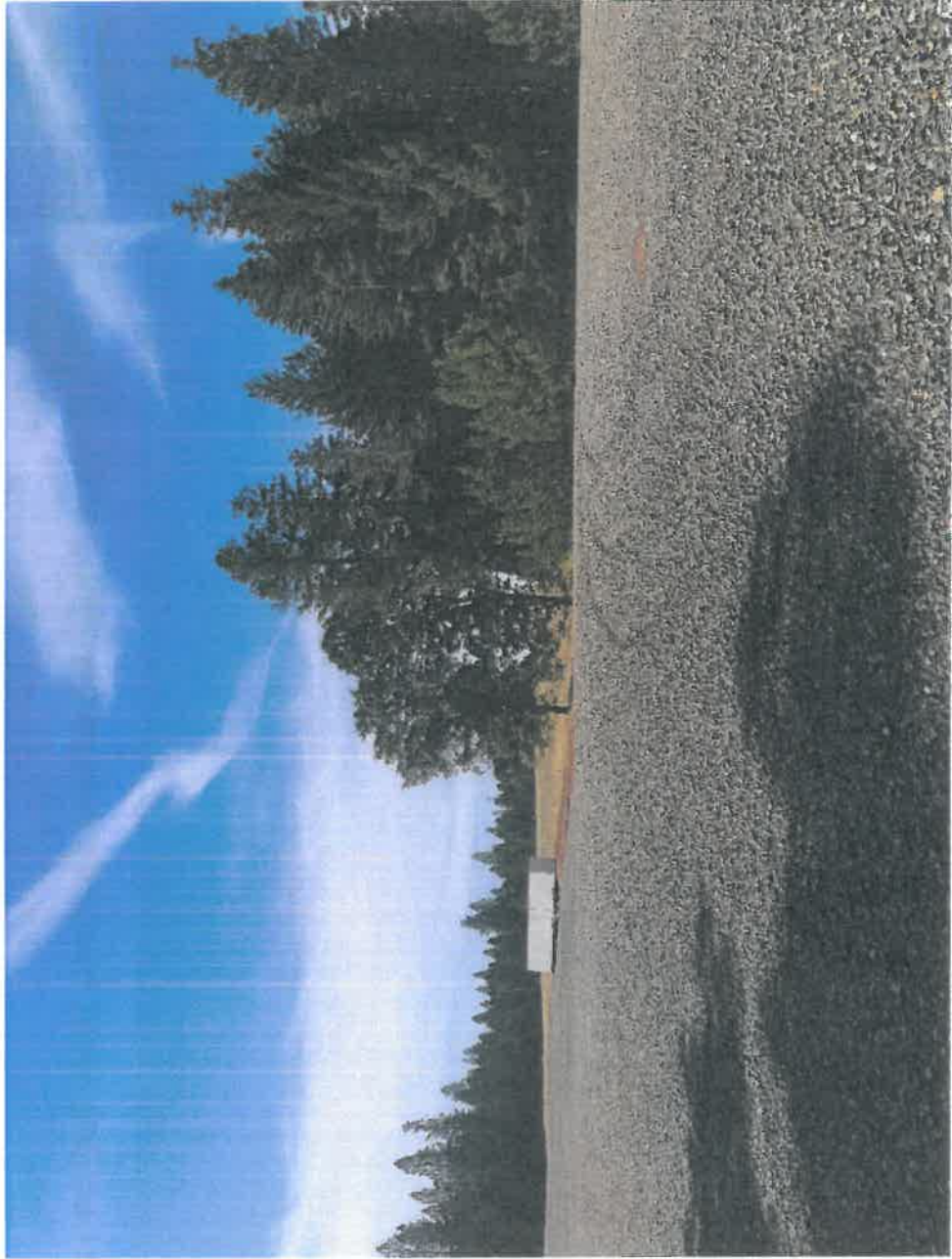


Photo 10: Looking south

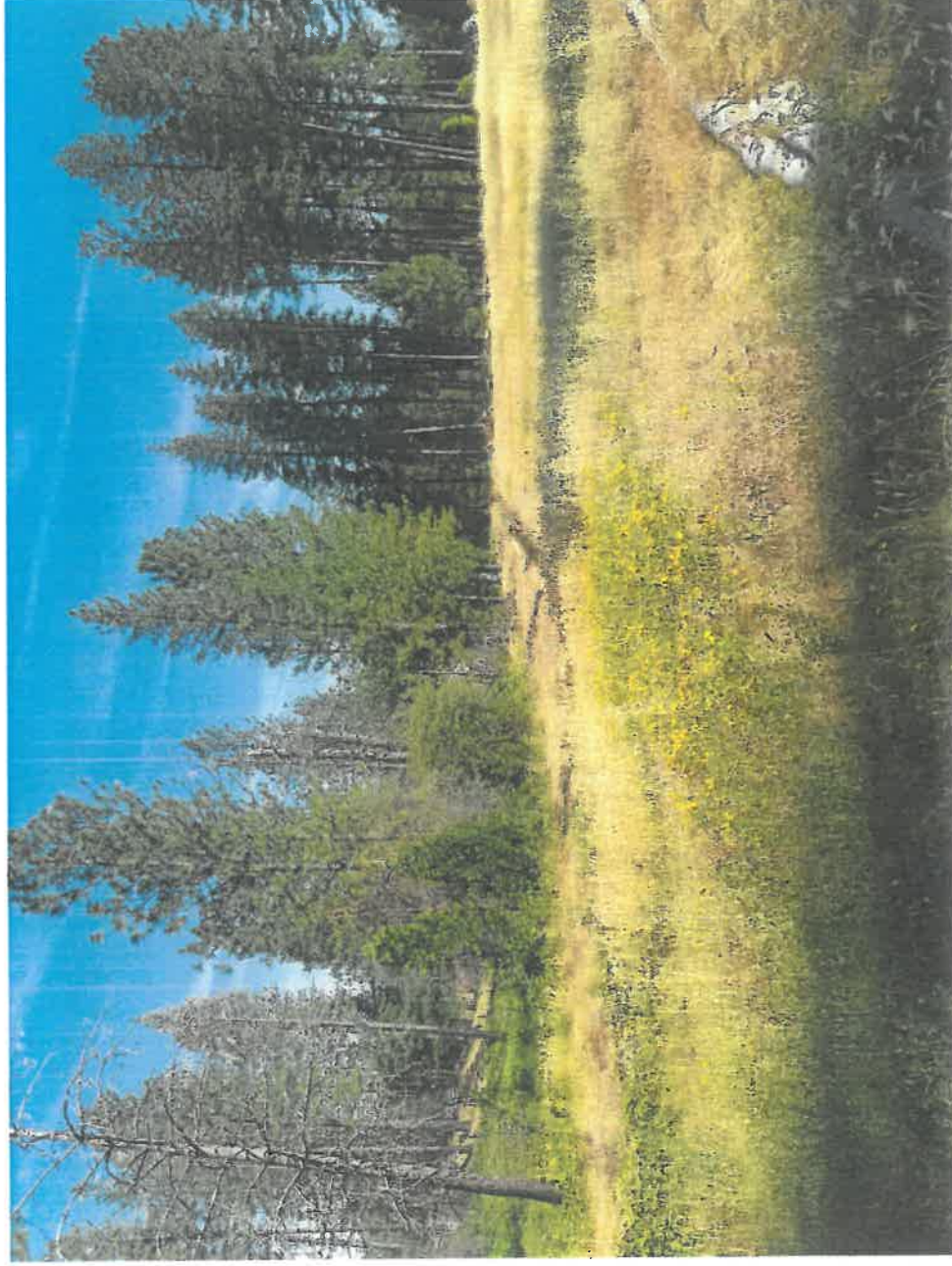


Photo 11: Looking northwest



Photo 12: Looking west

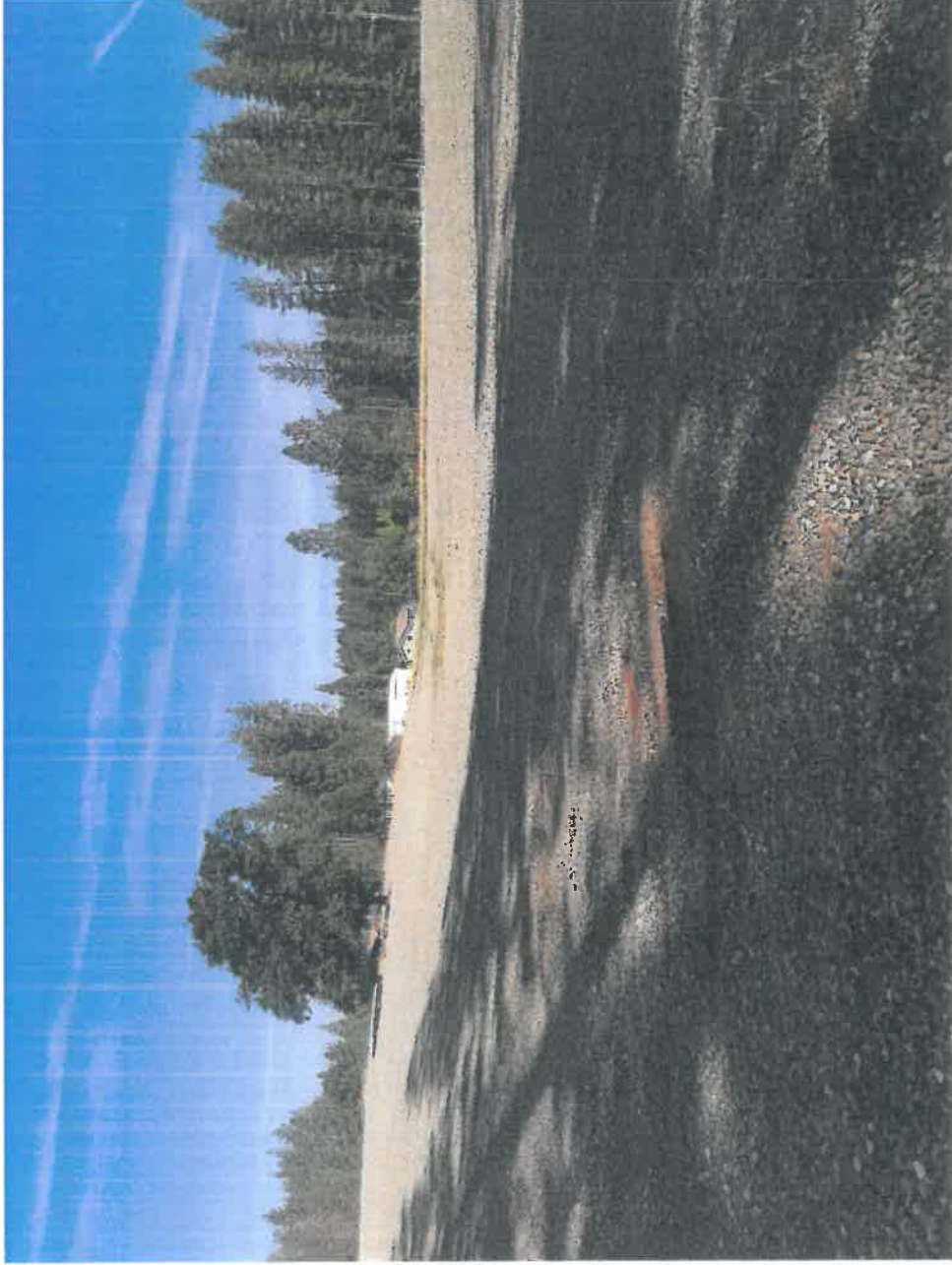


Photo 13: Looking northwest



Photo 14: Looking north along eastern property boundary



Photo 15: Looking south along Auburn Road

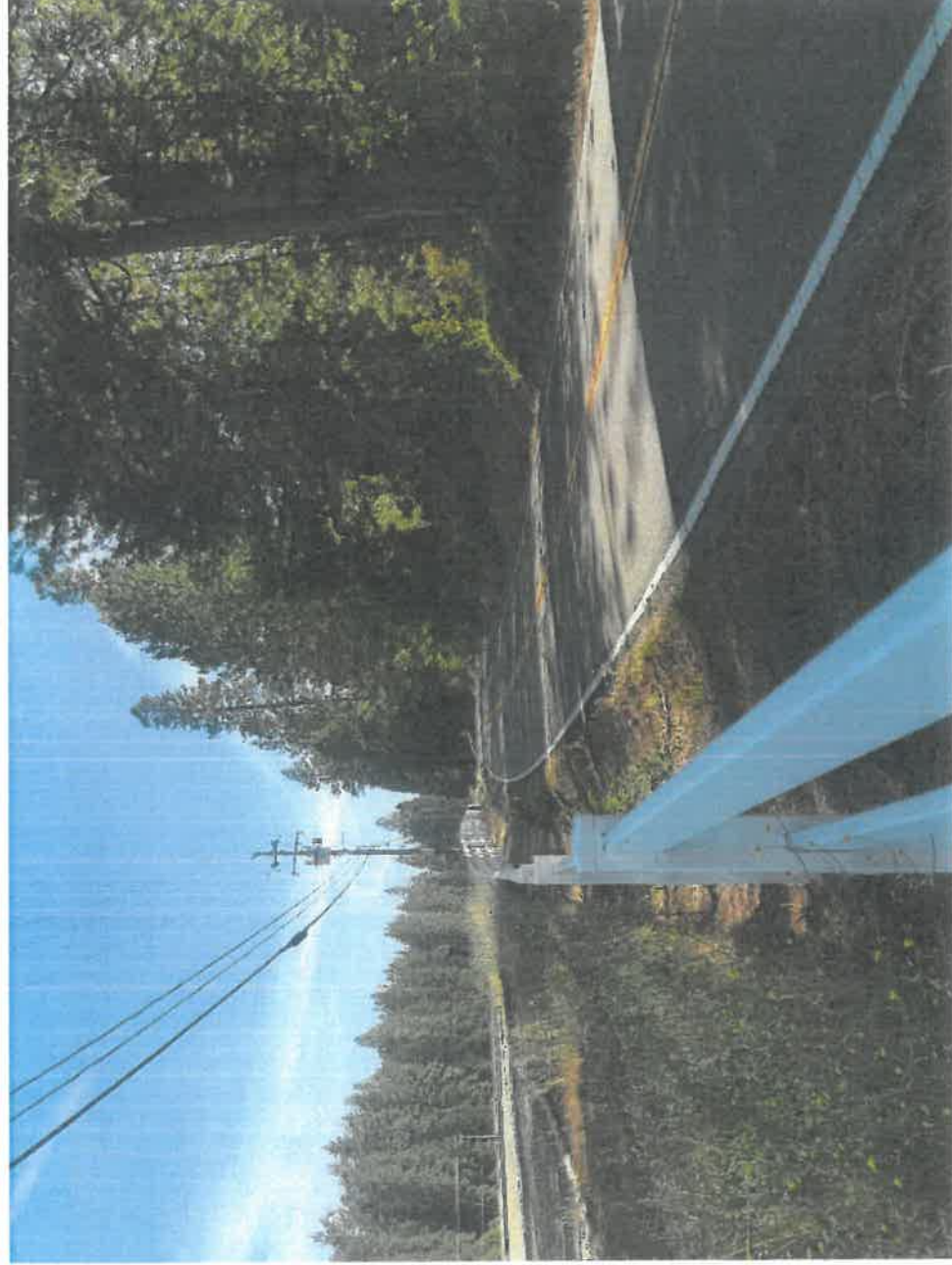


Photo 16: Looking north along Auburn Road

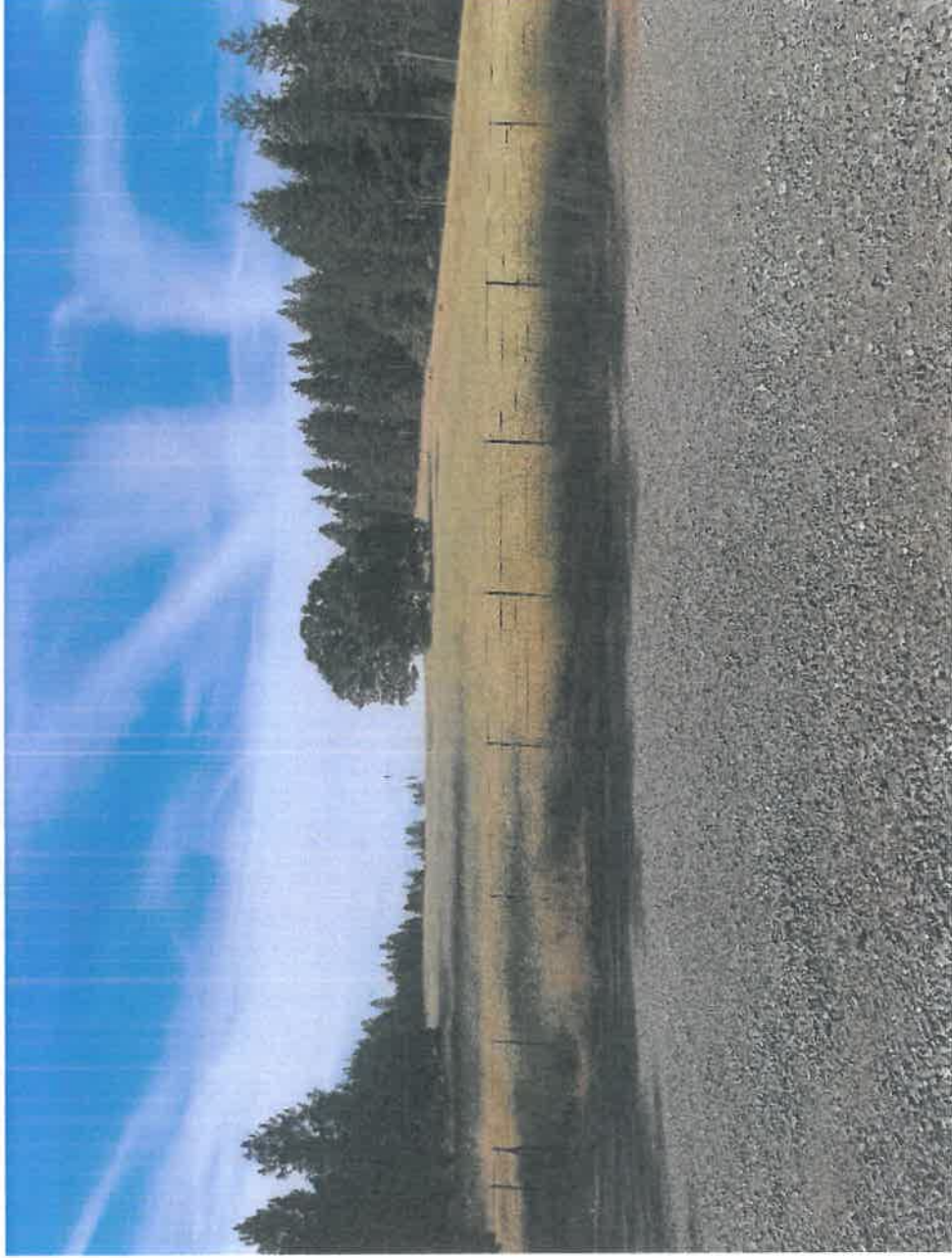


Photo 17: Looking south near property line

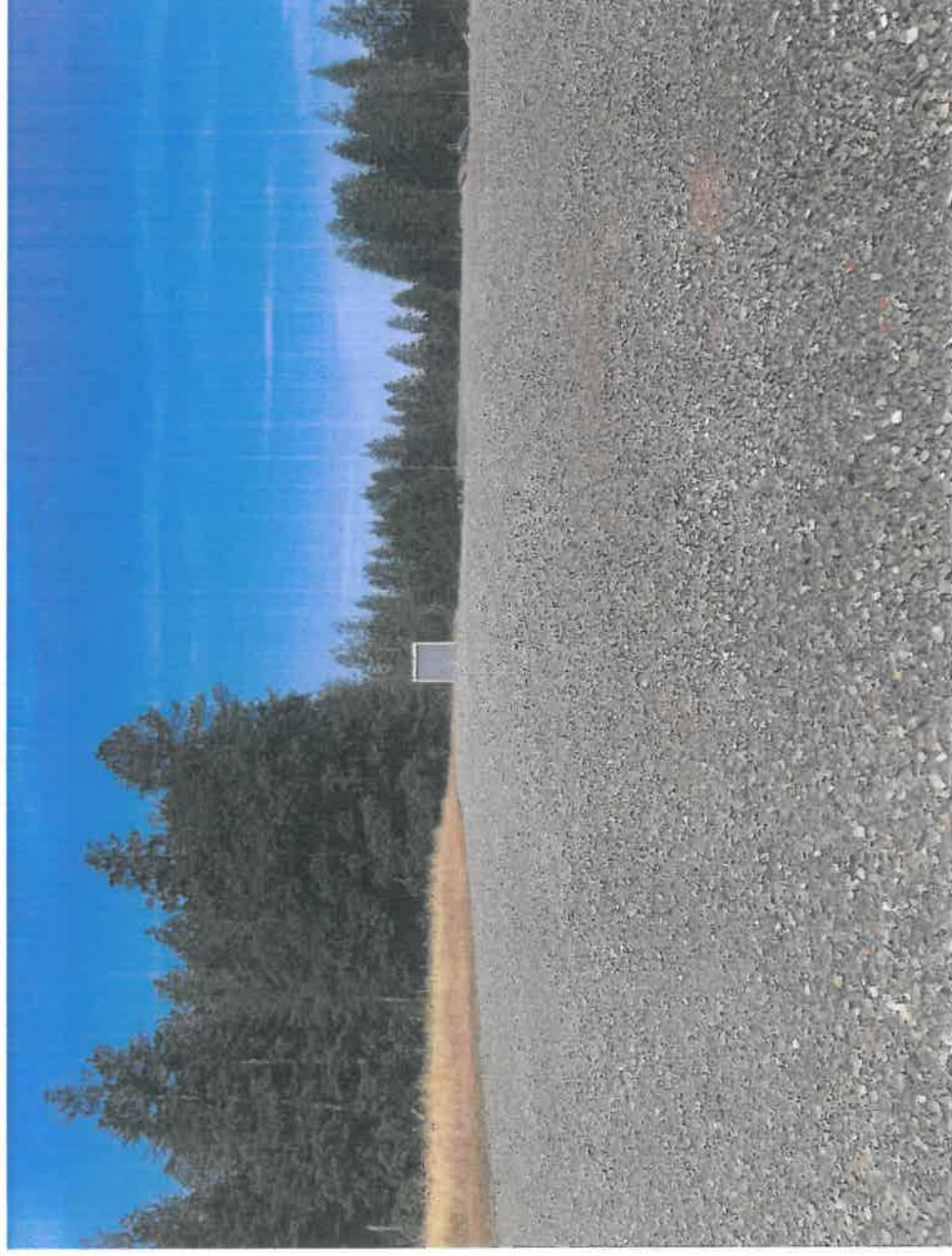


Photo 18: Looking west

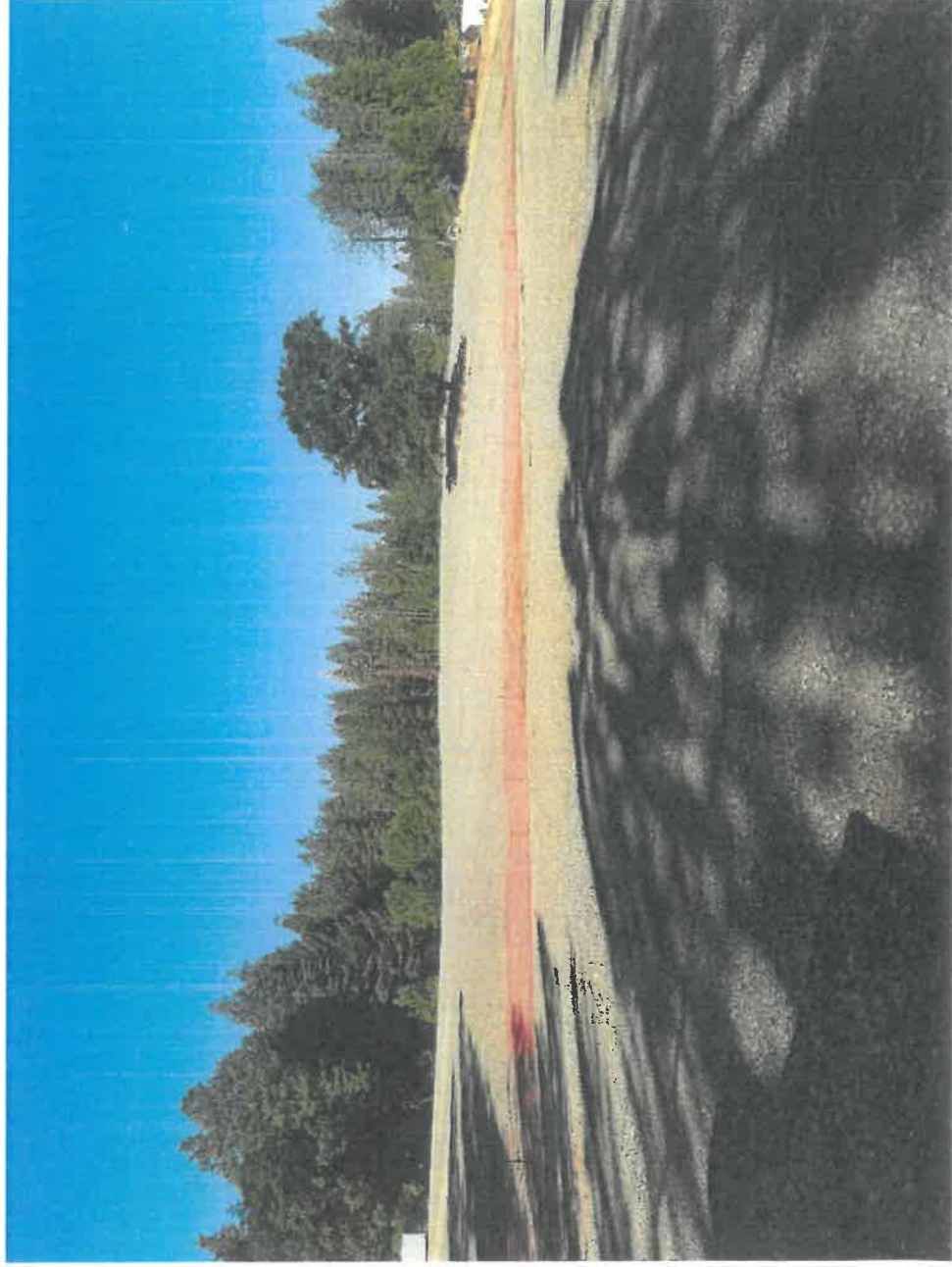


Photo 19: Looking west

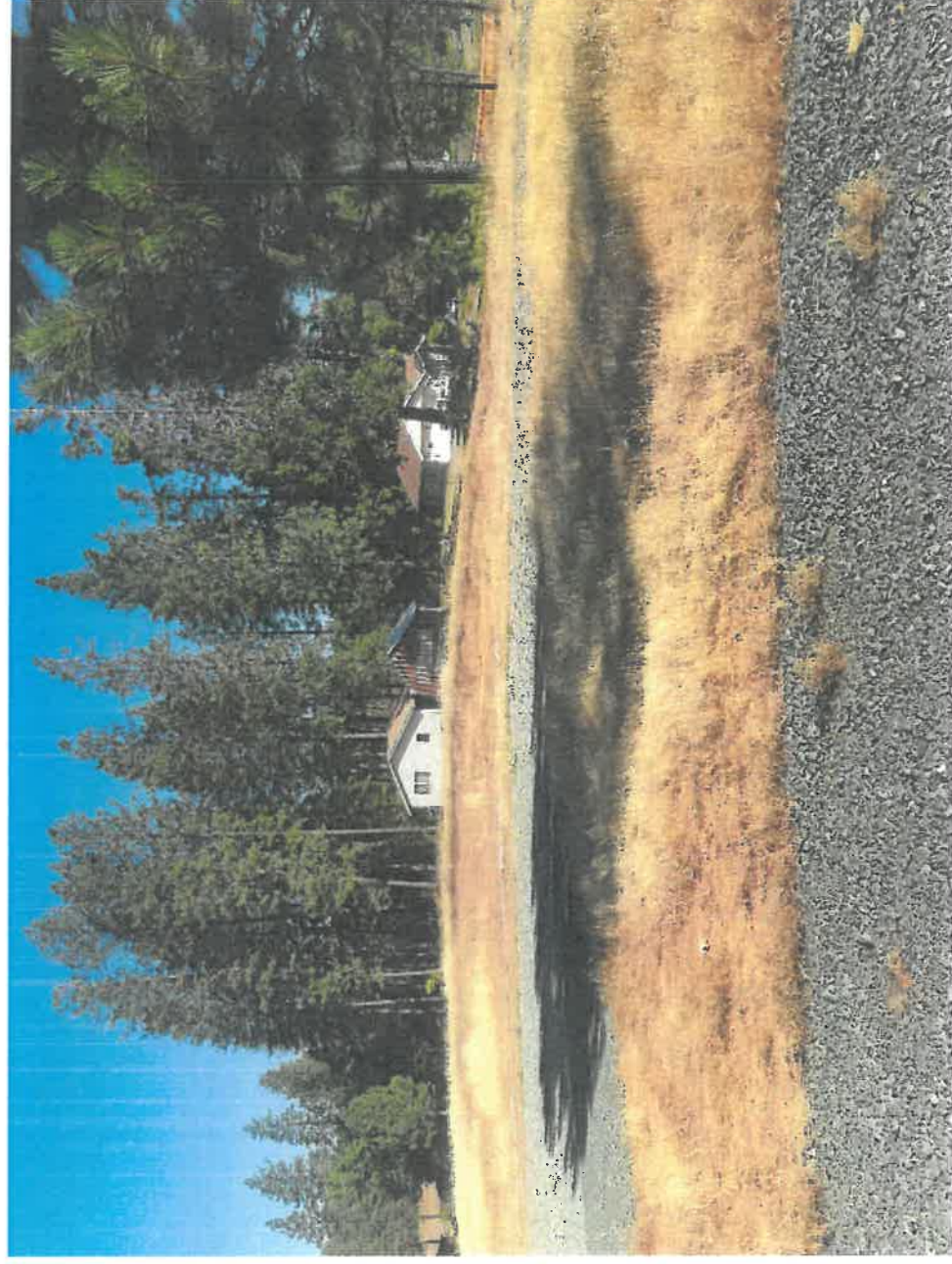


Photo 20: Looking north towards existing homes

