





**DEVELOPMENT REVIEW  
COMMITTEE  
STAFF REPORT  
June 9, 2020**

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**Agenda Item:** 5.1  
**Prepared by:** Lance E. Lowe, AICP, Principal Planner *LEL*  
**Reviewed by:** Thomas Last, Community Development Director *JL*

**DATA SUMMARY:**

**Application Number:** 20PLN-08  
**Subject:** Development Review and Minor Use Permit for a mixed-use project consisting of ±3,700 square foot of commercial with ±3,200 square foot of residential on the second floor.  
**Location/APN:** 152 S. Auburn Street/APN: 008-372-006  
**Applicant:** Robert Wallis, Architect, Wallis Design Studio  
**Owner:** Wallis-McGhlaughlin Family Trust  
**Zoning/General Plan:** Town Core (TC) Zone/Commercial  
**Entitlement(s):** Development Review and Minor Use Permit  
**Environmental Status:** Categorical Exemption

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**RECOMMENDATION:**

The Development Review Committee recommend that the Planning Commission approve the Village mixed-use project as presented, or as modified by the Development Review Committee, which includes the following actions:

1. Determine the project Categorical Exempt as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA) and Guidelines;
2. Adoption of Findings of Fact for approval of the Village project as presented in the Staff Report (**Attachment 3**); and,
3. Approval of the project in accordance with the Conditions of Approval as presented in the Staff Report (**Attachment 3**).

**BACKGROUND:**

The project site is located within of the City's Historic 1872 Townsite and has a rating of 3 – meaning that the property lacks significance (lacks integrity-major alterations or additions may be recoverable through restoration) according to the Historical Resources Survey conducted in 2009. The single-story building appears to have been constructed circa 1960s, although the exact construction date is unknown.

The building consists of a ±4,000 square foot commercial building on a ±12,632 square foot (0.29 acre) parcel. The building includes five (5) tenant spaces and fronts on South Auburn to the northeast and connects with the 116 Neal Street building to the southwest.

**PROJECT DESCRIPTION:**

The applicant is requesting entitlements including a Development Review Permit and Minor Use Permit for the mixed-use project. The project plans dated May 8, 2020, include the following details:

*Development Review Permit* – The applicant proposes a two-story mixed-use building within the existing building footprint. The mixed-use project includes ±3,700 square foot of commercial consisting of four tenant spaces on the first floor. The four commercial tenant spaces range in size from ±786 to ±1,091 square feet.

A total of ±3,200 square feet of residential is proposed on the second floor consisting of five units. The five units consist of four 1-bedroom and one 2-bedroom units ranging in size from ±517 to ±880 square feet.

The project also includes ±490 square feet of common area and ±690 square feet of roof garden on the second floor.

*Access* – An existing driveway is located on the east side of the property. The 25-foot driveway is constructed to City standards. No additional improvements are proposed with the project.

*Parking & Circulation* – A total of twenty (20) existing parking spaces will be reduced to fourteen (14), including one ADA accessible parking space. The reduction in parking is to accommodate additional landscaping. The existing parking includes both perpendicular and angled parking. The parking space dimensions are 9 by 18 feet with backing distances of ±20 feet along the westerly end of the property and ±22 feet easterly. Backing distances of less than 24 feet are considered legally non-conforming.

One through connection to the City’s parking lot is located at the west side of the parking lot.

*Landscaping* – A landscaping plan is shown on Sheet 02. Existing landscaping will be augmented with landscaped planters added along the south property line; along the building frontage; and, along the north side of the trash enclosure.

*Architectural Design* – The building footprint remains unchanged. The architectural design of the building, including materials and colors, is consistent with the architectural elements and colors in the vicinity as outlined on Page 03 of the project plans. Architectural details and materials include, but are not limited to:

- Brick wainscoting – English Rose;
- Metal Corrugated Siding – Galvanized;
- Cement Plaster Walls – Stone Age;
- CMU walls – Amherst Gray (HC);
- Tube Steel Columns, Beam and Trellis – Graystone;

- Tube Steel Awning Frame – Wrought Iron;
- 6/12 Gable, shed roof combination with Standing Seam Metal roof – Slate Gray;
- Storefront windows at first floor tenant spaces;
- Windows on all elevations;
- Solar array on south elevation; and,
- Hanging Tenant Signage.

See **Attachment 4** for project plans.

*Trash Enclosure* – A trash enclosure is proposed at the southwest end of the parking lot abutting the building to the south. The trash enclosure contains Corrugated metal siding with metal coping consistent with the materials of the building. A landscape planter strip is proposed along the north side of the enclosure.

*Lighting* – Lighting will consist of individual unit entryway and lighting under the canopy. No parking lot lighting is proposed.

*Fencing* – A new privacy fence will be constructed along the southwest property line where the buildings currently connect. No details on the fence are shown.

*Drainage* – The site currently drains from west to east onto South Auburn Street. An existing drain in-let is located immediately north of the existing driveway. Considering no new surface area is proposed, existing drainage facilities are deemed adequate.

*Minor Use Permit* – In the Town Core (TC) Zone, setbacks are zero in the front and side yards. The rear setback requires ten (10) feet. As such, the existing rear yard setback of 3 feet 8 inches along the west property line is considered legally non-conforming. In accordance with the City’s non-conforming standards, non-conforming structures may be expanded per Section 17.90.030 provided the review authority finds that enlarging the structure will not impose on neighboring properties:

“A non-conforming structure may be enlarged, extended, reconstructed, or relocated on the site with Minor Use Permit approval, if the changes comply with all applicable provisions of the Development Code; provided that the review authority first finds that the additional work is compatible with neighboring uses and would not adversely impact neighboring properties.”

As proposed, the rear yard wall will be increased in height from single story to two story.

**SITE DESCRIPTION AND ENVIRONMENTAL SETTING:**

The project is an infill site bordered on the north by a parking lot followed by two story buildings including the Del Oro Theater and Ashley Furniture buildings. To the south is the City’s parking lot; the Powerhouse Gym is located east; and, Thirsty Barrel is to the west (See Page 03 – *Site Photographs*).

**ENVIRONMENTAL DETERMINATION:**

The project qualifies for a Class 32 Categorical Exemption in accordance with the CEQA Guidelines. A Class 32 Categorical Exemption consists of projects characterized as in-fill development meeting the following conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) The site is adequately served by all required utilities and public services.

The project complies with subsections (a) through (e) and therefore qualifies for an Infill Class 32 Categorical Exemption.

**GENERAL PLAN AND ZONING:**

**General Plan:** The Grass Valley 2020 General Plan identifies the site as Commercial. The Commercial designation includes all types of commercial retail and service establishments on the highway and along major streets. The proposed use is consistent with the General Plan policies, goals, and objectives, which aim to create a healthy economic base for the community, including increasing employment opportunities through attraction of new and compatible industry and commerce, and through retention, promotion and expansion of existing businesses.

**Zoning:** The property is within the Town Core (TC) Zone. The purpose of the TC Zone is to strengthen the mixed-use, pedestrian-oriented nature of the existing historic downtown. In the TC Zone, mixed use projects with residential component are permitted uses subject to development standards in accordance with Section 17.44.140 relating to building design, parking, laundry facilities and open space areas.

Mixed use projects in the Traditional Community Development Zones such as the TC are permitted 20 units per acre. The project is at a density of 17 units per acre.

**ANALYSIS:**

Staff offers the following project analysis for Development Review Committee and Planning Commission consideration:

*Renovation of Existing Building* – As noted, the building has a rating of 3 – meaning that the property has no value to the City’s Historic District. Therefore, renovation of the building will not alter a resource that is considered significant to the City’s Historic District.

*Detachment of Existing Building/Attachment of Trash Enclosure* – The existing building is attached to the rear of the Thirsty Barrel located at 116 Neal Street. Once the building is detached, the appearance of the 116 Neal Street façade may be in need of repair and painting. Moreover, the applicant proposes to connect the trash enclosure to the northeast



side of the building. Condition of Approval No. A – 4 requires the applicant to work with the owner of 116 Neal Street to detach the existing building and connect the trash enclosure.

*Setbacks* – The west setback to the property line is non-conforming and may be extended, provided adjoining buildings are not impacted. As shown in the photograph, the buildings adjoining the rear property line include a parking lot, rear façade of the Del Oro Theater and Ashley Furniture Buildings. Given the orientation of the Del Oro Theater and the project, the wall mural will still be visible from public view. A two-story addition along the west property line is not anticipated to negatively impact adjoining properties considering existing improvements.



*Parking* – For mixed use projects, the number of parking spaces may be combined. In the TC Zone, commercial spaces greater than 3,000 square feet require one parking space per 400 square feet or 9 parking spaces. Upper floor residential requires one parking space per unit for a total of 14 parking spaces ( $3,700/400=9.25+5=14$ ).

The existing parking space orientation and backing distances of 20 to 22 feet are considered legally non-conforming. There appears to be adequate space to reorient the parking spaces to be more perpendicular; however, these spaces exist and have served the existing use without issue. Accordingly, staff has not conditioned the project to revise the parking lot layout.

*Landscaping* – The existing landscaping is sparse and does not comply with City Standards. Landscape planters are proposed around the perimeter of the site and one side of the trash enclosure as required of the City’s Development Code. A landscaping strip of 6 feet should also be provided along the south (side) property line where the parking area adjoins the property line. However, the review authority (Planning Commission) may authorize a reduction in the landscaping provided the overall site area is insufficient to accommodate the allowable structures and required parking. In this case, the depth of the parcel does not afford additional landscaping as required due to the limited parking space backing distances noted above.

Condition of Approval No. A – 6 requires a final landscaping plan be provided for the project including enlarging the planter west of stall 9 to the east to align with the boundary of stall 9. To the extent practicable, the landscaping shall be in accordance with City Standards, including tree islands and parking lot shading.

Conditions of Approval C – 1-4 requires the final landscaping to comply with the State’s Model Water Efficiency Landscape Ordinance prior to the issuance of a Certificate of Occupancy.

*Architectural Design* – The architectural design of the building incorporates materials and elements consistent with the neighborhood as shown in Page 03 of the project plans. However, staff recommends that certain elevations visible from public view be further detailed to provide additional architectural interest.

Condition of Approval No. A – 3 requires the architectural elevations to be modified to further include the following details:

- 1) East Elevation:
  - a) Extend wainscot or some type of base element to the other three sides of the building element; and,
  - b) Expand the size and increase the detailing of the cap at the top of the wall.
- 2) Southwest Elevation:
  - a) Windows for the bathroom and bedroom upstairs should be added; and,
- 3) West Elevation:
  - a) additional decorative features visible from public view should be added.

*Signage* – Individual hanging tenant signage is shown on the project plans. The size and materials appear to be consistent with signage in the area.

A monument sign is also shown in the south planter fronting South Auburn Street. However, no details have been provided. Condition of Approval No. A – 5 requires the applicant to provide details of the individual tenant signage and subsequent DRC approval for the monument sign.

*Lighting* – In accordance with Section 17.30.060 and Condition of Approval A – 11, the applicant shall be required to submit a photometric plan to ensure compliance with the City’s illumination requirements should parking lot lighting be provided. All lighting shall contain down shields to direct light downward.

*Fencing* – Condition of Approval No. A – 7 requires a detail of the privacy fencing be submitted with construction documents. The fencing should consist of wood or wrought iron.

*Outdoor Storage* – For the residential units, individual storage space is not provided for each of the respective units. Additionally, each of the units are accessed via a balcony with railing along the entire frontage of the building. Accordingly, there is a concern with outdoor storage and tenants hanging personal items on the balcony.

Condition of Approval No. A – 8 stipulates that outdoor storage is not permitted and Conditions, Covenants or Restrictions (CC&Rs) or some other enforcement mechanism be in place to assure outdoor storage is prohibited and enforced.

**ATTACHMENTS:**

**Attachment 1** – Vicinity Map

**Attachment 2** – Aerial Photograph

**Attachment 3** – Findings and Conditions

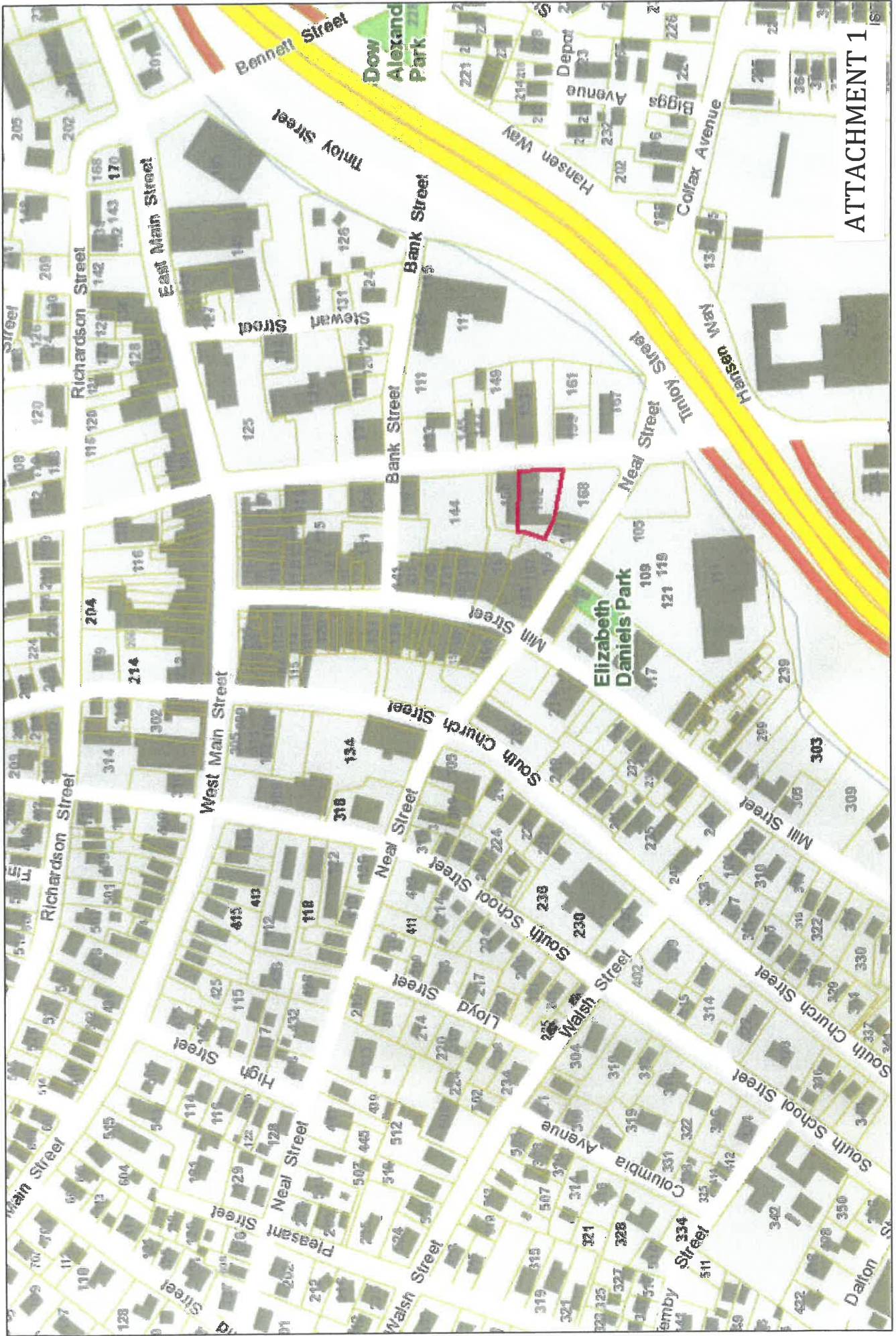
**Attachment 4** – Project Plan dated May 8, 2020





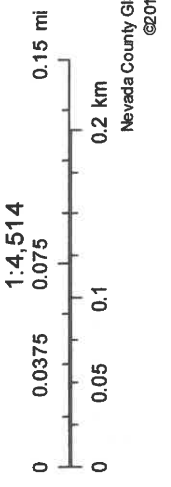
# ATTACHMENTS

# 152 South Auburn Street



ATTACHMENT 1

February 12, 2020



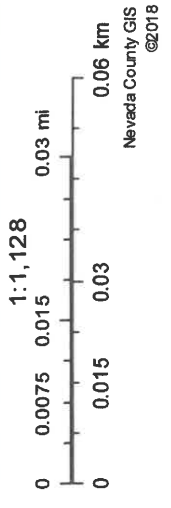


152 South Auburn Street



ATTACHMENT 2

February 12, 2020



**FINDINGS & CONDITIONS OF APPROVAL  
FOR THE VILLAGE DEVELOPMENT REVIEW AND MINIOR USE PERMITS  
(20PLN-08)**

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**FINDINGS:**

In accordance with Sections 17.72.030(J) and 17.72.060(F) of the Development Code the Planning Commission is required to make specific findings before it approves a Development Review and Minor Use Permits.

1. The City received a complete application for Development Review Permit and Minor Use Permit Applications 20PLN-08.
2. The Community Development Department reviewed the project in accordance with the California Environmental Quality Act and Guidelines and determined that the project qualifies for an Infill Class 32 Categorical Exemption.
3. The Class 32 Categorical Exemption reflects the City's independent judgement and analysis as lead agency in accordance with the CEQA and the CEQA Guidelines;
4. The Grass Valley Development Review Committee reviewed the application at its regularly scheduled meeting on June 9, 2020.
5. The Planning Commission has considered the recommendations of the Development Review Committee, including the proposed Class 32 Categorical Exemption at its July 21, 2020, meeting.
6. The proposed use is consistent with the City's 2020 General Plan and any applicable specific plan.
7. The project is consistent with the applicable sections and development standards in the Development Code and Municipal Code.
8. The project, as conditioned, complies with the City of Grass Valley Community Design Guidelines.
9. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Development Code and the Municipal Code.
10. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.
11. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities (e.g. fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the density, intensity, and type of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety,

**FINDINGS & CONDITIONS OF APPROVAL  
FOR THE VILLAGE DEVELOPMENT REVIEW AND MINIOR USE PERMITS  
(20PLN-08)**

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or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

12. The building is compatible with neighboring uses and would not adversely impact neighboring properties and as such, the rear yard non-conforming setback may be enlarged, extended, reconstructed, or relocated on the site.

**A. GENERAL CONDITIONS:**

1. The approval date for this project is **July 21, 2020**. The Development Review Permit, and Minor Use Permit are approved for a period of 1 year and shall expire on **July 21, 2021**, unless the project has been effectuated (i.e. building permit has been obtained) or the applicant requests a time extension that is approved by the Grass Valley Planning Commission pursuant to the Development Code.
2. The project shall be constructed in accordance with the plans approved by the Planning Commission for Development Review Permit 20PLN-08 unless changes are approved by the Planning Commission prior to commencing such changes. Minor design changes may be approved by the Community Development Department as determined appropriate by the Community Development Director. Major changes, as determined by the Community Development Director, shall be approved by the Planning Commission.
3. The architectural elevations shall be modified to include the following details:
  - 1) East Elevation: a) Extend wainscot or some type of base element to the other three sides of the building element; and, b) Expand the size and increase the detailing of the cap at the top of the wall.
  - 2) Southwest Elevation: a) Windows for the bathroom and bedroom upstairs should be added; and,
  - 3) West Elevation: a) additional decorative features visible from public view should be added.
4. The applicant shall coordinate with the adjoining property owner of 116 Neal Street to detach the existing building and to attach the trash enclosure. If required, the 116 Neal Building may need to be re-sided and re-painted. Said work shall be completed prior to the issuance of a Certificate of Occupancy.
5. Details of the hanging tenant signage shall be provided on final construction documents. A separate monument sign permit shall be submitted prior to installing the monument sign. The size and design shall be in compliance with the City's Development Code Standards and Design Guidelines. The monument sign shall require DRC approval.
6. A final landscaping plan shall be provided for the project including enlarging the planter west of stall 9 to the east to align with the boundary of stall 9. To the extent



**FINDINGS & CONDITIONS OF APPROVAL  
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(20PLN-08)**

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practicable, the landscaping shall be in accordance with City Standards, including tree islands and parking lot shading.

7. A detail of the privacy fencing along the south property line shall be shown on the final construction documents. The fencing should consist of wood or wrought iron.
8. Outdoor storage is prohibited. The applicant shall submit for review and approval Conditions, Covenants and Restrictions (CC&Rs) or some other mechanism to assure that outdoor storage prohibitions are enforced. The documentation shall be to the satisfaction of the Community Development Director.
9. All trash and storage areas, mechanical equipment, and all other building appurtenances (i.e. utility meters, electrical boxes, air conditioners, fire sprinkler backflow valves, etc.) shall be screened from public view and adjacent properties. Details shall be shown on the final construction and/or improvement plans. All screening materials shall be consistent with the main building materials and colors. Roof-mounted screens and vents shall be compatible with the final roof materials and colors.
10. Energy efficient LED lighting and high efficiency HVAC and appliances shall be used for the project.
11. The height of the light fixtures shall not exceed 20 feet. The final design of the light fixtures shall be complementary of the building architecture to the satisfaction of the Community Development Director. A photometric plan shall be submitted in accordance with Chapter 17.30.060 of the City's Development Code if additional parking lot fixtures are proposed. All lighting shall contain downshields.
12. Prior to construction, the applicant shall obtain the requisite demolition, building, plumbing, mechanical and electrical permits from the building division, in compliance with the California Codes.
13. The applicant shall pay all City impact fees prior to issuance of a grading and/or building permit or issuance of a Certificate of Occupancy, as applicable.
14. With five (5) days of approval of the project, the applicant shall record the Notice of Exemption (NOE) including recording of the Notice of Exemption with the Nevada County Clerk/Recorder.
15. The applicant agrees to defend, indemnify, and hold harmless the City of Grass Valley in any action or proceeding brought against the City of Grass Valley to void or annul this discretionary land use approval.

**FINDINGS & CONDITIONS OF APPROVAL  
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(20PLN-08)**

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**B. DURING CONSTRUCTION, THE FOLLOWING CONDITIONS SHALL APPLY:**

1. Prior to any work being conducted within the City right-of-way, the applicant shall obtain an Encroachment Permit from the City of Grass Valley.
2. The developer shall keep adjoining public streets free of clean of project dirt, mud, materials, and debris during the construction period.
3. No trucks may transport excavated material off-site unless the loads are adequately wetted and either covered with tarps or loaded such that the material does not touch the front, back or sides of the cargo compartment at any point less than six inches to the top of the cargo compartment. Also, all excavated material must be properly disposed of in accordance with the City's Standard Specifications.
4. The contractor shall comply with all Occupational Safety & Health Administration (OSHA) requirements.
5. Construction and demolition waste recycling shall occur in accordance with Waste Management requirements.

**C. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY:**

1. The applicant shall obtain final approval from the City of Grass Valley, fire, planning, engineering and building divisions.
2. The applicant's landscape architect shall submit a letter specifying that the landscaping and irrigation has been installed in accordance with the approved landscape plans.
3. If over 500 square feet of irrigated landscaping, a landscaping permit shall be obtained from the Community Development Department. The applicant's landscape architect or landscape contractor shall submit to the City for approval the "certificate of completion" form as required by MWELO.
4. The applicant shall conduct an irrigation audit pursuant to the requirements of the MWELO. This shall be conducted by a third party certified landscape irrigation auditor that did not install or design the landscape and irrigation. Prior to the audit City must confirm the selected auditor complies with MWELO requirements.

**D. SPECIAL CONDITIONS:**

1. The following air quality notes shall be included on the improvement plans:
  - a. The applicant shall be responsible for ensuring that all adequate dust control measures are implemented in a timely manner during all phases of project development and construction.

**FINDINGS & CONDITIONS OF APPROVAL  
FOR THE VILLAGE DEVELOPMENT REVIEW AND MINIOR USE PERMITS  
(20PLN-08)**

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- b. All material excavated, stockpiled, or graded shall be sufficiently watered, treated, or covered to prevent dust from leaving the property boundaries and causing a public nuisance or a violation of an ambient air standard. Watering should occur at least twice daily, with complete site coverage.
  - c. All land clearing, grading, earth moving, or excavation activities on the project shall be suspended as necessary to prevent excessive windblown dust when winds are expected to exceed 20 mph.
  - d. All inactive portions of the development site shall be covered, seeded, or watered until a suitable cover is established. Alternatively, the applicant shall be responsible for applying City approved non-toxic soil stabilizers (according to manufactures specifications) to all inactive construction areas (previously graded areas which remain inactive for 96 hours) in accordance with the local grading ordinance.
  - e. All areas with vehicle traffic shall be watered or have dust palliative applied as necessary for regular stabilization of dust emissions.
  - f. All material transported off-site shall be either sufficiently watered or securely covered to prevent public nuisance.
  - g. Paved streets adjacent to the project shall be swept at the end of each day, or as required to remove excessive accumulations of silt and/or mud which may have resulted from activities at the project site.
  - h. No burning of waste material or vegetation shall take place on-site.  
Alternatives to burning include chipping, mulching or converting to biomass.
2. *Inadvertent Discoveries* – If potential Tribal Cultural Resources (TCRs), archaeological resources, other cultural resources are identified, work shall cease within 100 feet of the find (based on the apparent distribution of cultural resources) and a qualified cultural resources specialist and United Auburn Indian Community (UAIC) representative will assess the significance of the find and make recommendations for further evaluation and treatment as necessary. Culturally appropriate treatment may be, but is not limited to, processing materials for reburial, minimizing handling of cultural objects, leaving objects in place within the landscape, returning objects to a location within the project area where they will not be subject to future impacts. The UAIC does not consider curation of TCR's to be appropriate or respectful and request materials not be permanently curated, unless requested by the UAIC.
- If adverse impacts to tribal cultural resources, unique archaeology, or other cultural resources occurs, then consultation with UAIC and other traditionally and culturally affiliated Native American Tribes regarding mitigation contained in Public Resources Code sections 21084.3(a) and (b) and CEQA Guidelines section 15370 should occur.
3. *Inadvertent Human Remains Discoveries* – In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county in which the

**FINDINGS & CONDITIONS OF APPROVAL  
FOR THE VILLAGE DEVELOPMENT REVIEW AND MINIOR USE PERMITS  
(20PLN-08)**

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human remains are discovered has determined, in accordance with Chapter 10 (commencing with Section 27460) of Part 3 of Division 2 of Title 3 of the Government Code, that the remains are not subject to the provisions of Section 27491 of the Government Code or any other related provisions of law concerning investigation of the circumstances, manner and cause of any death, and the recommendations concerning the treatment and disposition of the human remains have been made to the person responsible for the excavation, or to his or her authorized representative, in the manner provided in Section 5097.98 of the Public Resources Code. The coroner shall make his or her determination within two working days from the time the person responsible for the excavation, or his or her authorized representative, notifies the coroner of the discovery or recognition of the human remains.

If the coroner determines that the remains are not subject to his or her authority and if the coroner recognizes the human remains to be those of a Native American, or has reason to believe that they are those of a Native American, he or she shall contact by telephone within 24 hours, the Native American Heritage Commission in accordance with Section 5097.98 of the Public Resource Code.



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DATE	DESCRIPTION

Proj No: 2018018  
 Date: 5/08/2020  
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 Drawn By: RHW

Drawing Title:  
**COVER SHEET**

Drawing Number:  
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**1 THE VILLAGE**

**PROJECT INFORMATION**

**PROJECT:** SITE CORE COMMON AREA  
 2ND FLOOR COMMON AREA  
 15' FLOOR COMMERCIAL  
 250.00 SQ. FT. (15' x 16.67')  
 2018018

**ADDRESS:** 18 SOUTH AUBURN STREET  
 GRASS VALLEY, CA 95945

**APN:** 048-339-048  
 ACRES: 0.39 AC. (16,919 SF)  
**ZONING:** TC-ENTY  
**APPLICANT:** WALLIS-MAGHLAGHLIN FAMILY TRUST  
**ARCHITECT:** ROBERT WALLIS, AIA  
 WALLIS DESIGN STUDIO  
 191 S. AUBURN STREET  
 GRASS VALLEY, CA 95945

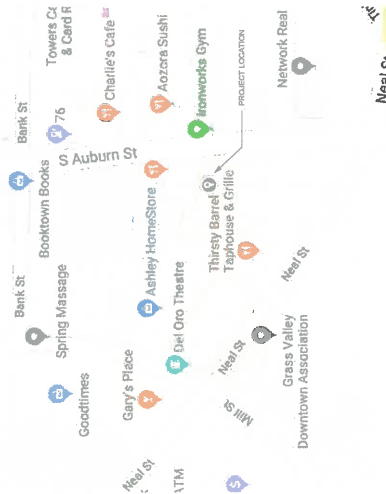
**SHEET INDEX**

- A1.0** COVER SHEET & PERSPECTIVE  
**A1.1** PROPOSED SITE PLAN  
**A1.2** PROPOSED SECOND FLOOR PLAN  
**A2.1** PROPOSED ROOF PLAN  
**A2.2** PROPOSED EXTERIOR MATERIALS  
**A2.3** COLOR ELEVATIONS & MATERIALS  
**A3.1** BUILDING SECTIONS  
**A3.2** BUILDING SECTIONS  
**A4.1** BUILDING SECTIONS  
**A4.2** BUILDING SECTIONS

**NEIGHBORHOOD PLAN**



**VICINITY MAP**







WALLIS DESIGN STUDIO  
ARCHITECTS

183 S. Auburn St.  
Orange, CA 92668  
WallisDesignStudio.com

THE VILLAGE  
MIXED-USE

WALLIS-MAGHLAUGHLIN  
FAMILY TRUST

183 S. Auburn St.  
Orange, CA 92668

SCHEMATIC DESIGN

Stamp:



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No.	Description	Date

Proj. No.: 2008008

Date: 5/08/2020

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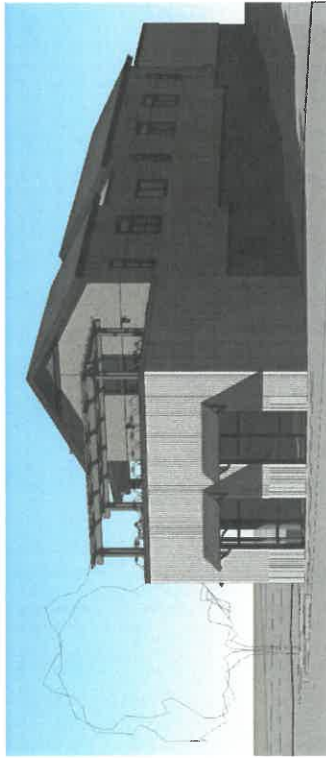
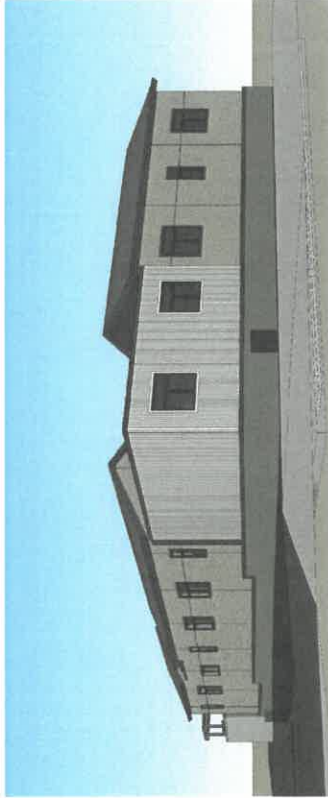
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**WALLIS DESIGN STUDIO  
ARCHITECTS**  
151 S. Auburn St.  
Orland, CA 94556  
925.684.0000  
wallisdesignstudio.com

**THE VILLAGE  
MIXED-USE**

**WALLIS-MICHAELAHLIN  
FAMILY TRUST**  
150 S. Auburn St.  
Orland Valley, CA 94556  
**SCHEMATIC DESIGN**

Stamp:



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No.	Description	Date

Proj. No.: 20180408  
Date: 5/18/2020

Scale:  
Drawn By: RMW

Drawing Title:  
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Drawing Number:  
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**LEGEND**

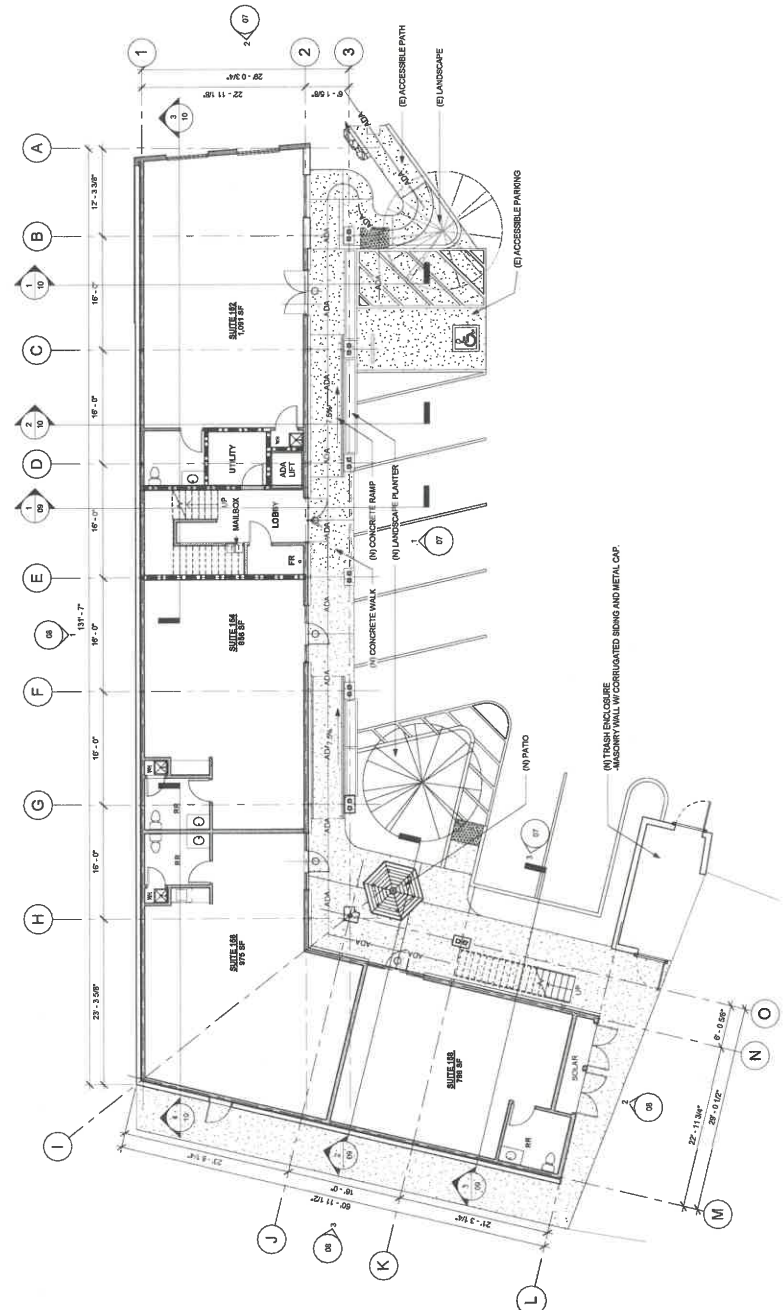
- (B) WALL LOCATION
- (N) WALL LOCATION
- (N) PATED WALL LOCATION
- (---) WALL BELOW
- (O) EXTERIOR LIGHT FIXTURE LOCATION

**GENERAL NOTE**

1. RECONFIGURED 1ST FLOOR AREA IS WITHIN EXISTING BUILDING FLOOR AREA

**GROSS FLOOR AREA SUMMARY**

FLOOR	SUITE	AREA (SF)
1ST FLOOR	SUITE 104	1,345
	SUITE 104	1,341
	SUITE 104	1,024
	SUITE 104	1,477 SF
2ND FLOOR	SUITE 104	88
	SUITE 104	87
	SUITE 104	87
	SUITE 104	87
	SUITE 104	87
	SUITE 104	87
	SUITE 104	87
TOTAL GROSS AREA		7,482 SF



1 1ST FLOOR PLAN  
1/8" = 1'-0"



151 S. Auburn St.  
Covina, CA 91723  
WallisDesignStudio.com

# THE VILLAGE MIXED-USE

WALLIS-MCGHEE/HAUGHLIN  
FAMILY TRUST

132 S. BALBUENA ST.  
GRAND VALLEY, CA 92645

SCHEMATIC DESIGN

Stamp:



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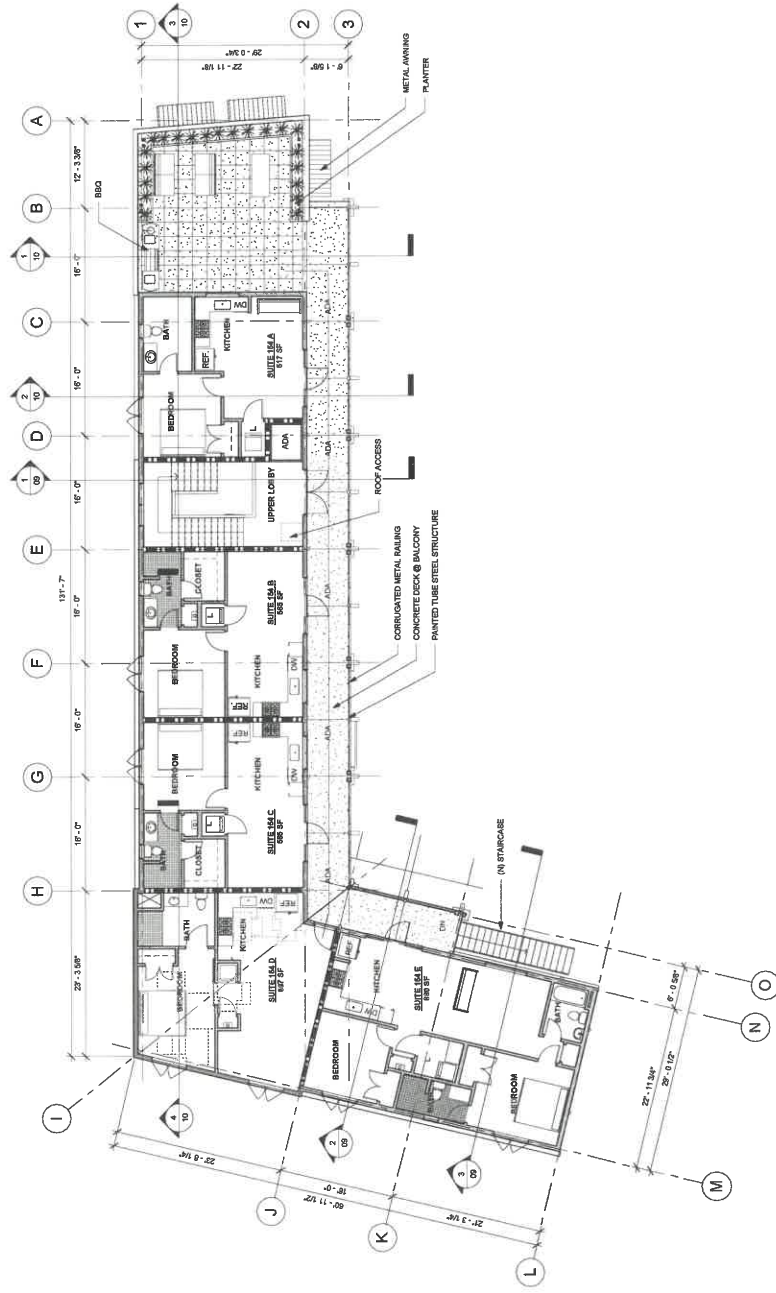
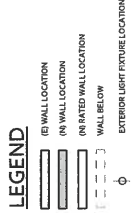
Revision table with columns for Date, Description, and Author. The table is currently empty.

Proj. No.: 201802B  
Date: 5/18/2020  
Scale: As Indicated  
Drawn By: S. A.L.M.

Drawing Title:  
**2ND FLOOR  
PLAN**

Drawing Number:  
**05**

5/6/2020 1:56:21 PM



1 2ND FLOOR PLAN  
1/8" = 1'-0"





COLOR AND MATERIALS

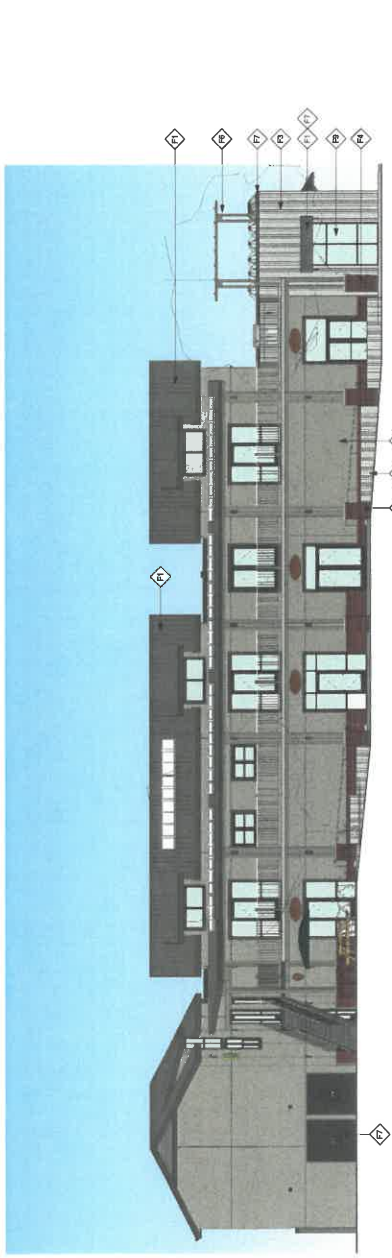
<p><b>DARK CONCRETE</b> TYPE: CONCRETE FINISH: NONE</p>	<p><b>METAL SALES</b> METAL ROOF: 30 YEAR SLATE GREY</p>
<p><b>WALL BRIDGE</b> TYPE: CONCRETE PRODUCT: INTERIALLY COLORED COLOR: LIGHT GRAY</p>	<p><b>OMEGA</b> 3-COAT CEMENT PLASTER STONE: 18x34</p>
<p><b>METAL GRIDS</b> MANUFACTURE: 787 PROFILE: CORRUGATED COLOR: UNPAINTED</p>	<p><b>BRIDGESTEEL</b> 787 CORRUGATED METAL COLOR: UNPAINTED</p>
<p><b>BECK MANOCE</b> TYPE: WOOD PROFILE: RUSTIC FINISH: UNPAINTED</p>	<p>1" X 1" O.D. TUBING TOP &amp; BOTTOM RAIL COLOR: UNPAINTED</p>
<p><b>CMU WALL UNIT</b> MANUFACTURE: AMIBEST COLOR: LIGHT TAN</p>	<p><b>BENJAMIN MOORE</b> OLD WORLD ENGLISH HOUSE</p>
<p><b>TRUSS SYSTEM</b> TYPE: TRUSS SYSTEM COLOR: GRAYSTONE #12</p>	<p><b>TRUSS SYSTEM</b> TYPE: TRUSS SYSTEM COLOR: GRAYSTONE #12</p>
<p><b>ANDERSON</b> TYPE: WINDOW FINISH: BLACK HARDWARE: SATIN</p>	<p><b>ANDERSON</b> 300-SERIES WINDOWS BLACK SATIN</p>
<p><b>SHINGLES</b> TYPE: SHINGLES FINISH: UNPAINTED HARDWARE: NONE</p>	<p><b>CALIFORNIA SLAG</b> TYPE: SLAG COLOR: BLACK SATIN</p>
<p><b>METAL ROOF</b> TYPE: METAL FINISH: SLATE GREY</p>	<p><b>GUTTER AND DOWNSPOUT</b> TYPE: METAL COLOR: SLATE GREY</p>

Stamp:

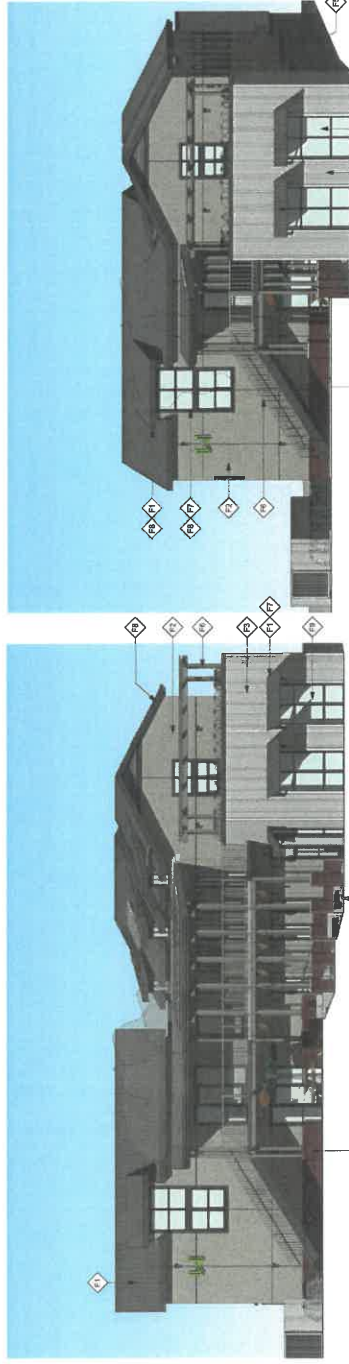


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Proj. No.	2024028
Date	5/08/2020
Scale	As Indicated
Drawn By:	RMW



1 SOUTH ELEVATION  
1/8" = 1'-0"



3 SOUTH EAST ELEVATION  
1/8" = 1'-0"

2 EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISHES TO BE SUBMITTED UNDER SEPARATE APPLICATION












Drawing Number:

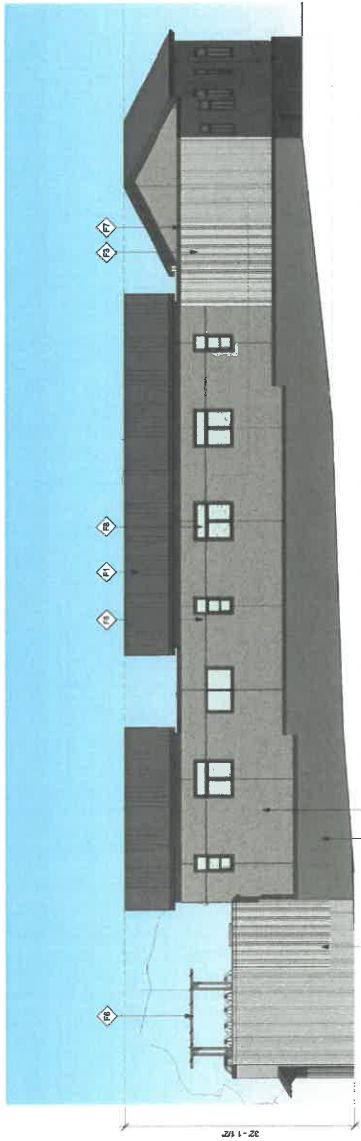
07

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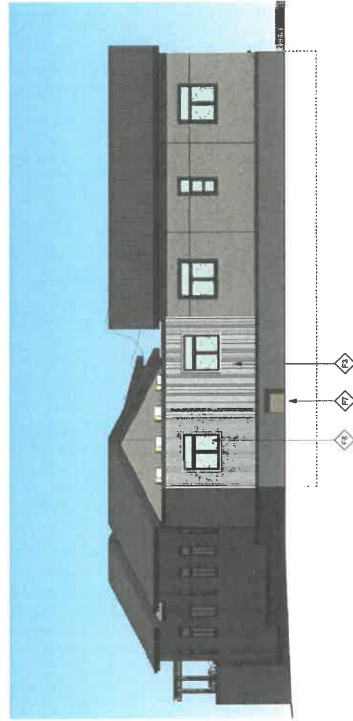
Drawing Title:  
**EXTERIOR ELEVATIONS**

# COLOR AND MATERIALS

	<b>BOOZING</b> METAL SIDING MANUFACTURE: STANDING SEAM PRODUCT: FINISH: COLOR: SLATE GREY
	<b>WALL PROFILE</b> MANUFACTURE: PRODUCT: COLOR: INTERESTINGLY COLORED
	<b>METAL SIDING</b> MANUFACTURE: PRODUCT: FINISH: COLOR: GALVANIZED
	<b>BRICK MANNOZ</b> MANUFACTURE: PROFILE: FINISH: COLOR: ENGLISH ROSE
	<b>GALVALUMAZINK</b> MANUFACTURE: COLOR: BRUNNEN MOORE
	<b>TUBE STEEL COLUMNS</b> MANUFACTURE: COLOR: BRUNNEN MOORE
	<b>TUBE STEEL AWNING FRAME</b> MANUFACTURE: COLOR: BRUNNEN MOORE
	<b>WINDOW</b> MANUFACTURE: TYPE: FINISH: HARDWARE: COLOR: BLACK
	<b>GLUCKSTEIL BUILDING</b> MANUFACTURE: TYPE: FINISH: HARDWARE: COLOR: SATIN
	<b>GLITTER AND DOWNSCOTT</b> MANUFACTURE: STYLE: COLOR: SMOGON STYL F
	<b>BRICK MANNOZ</b> MANUFACTURE: COLOR: ENGLISH ROSE



1 NORTH ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTHWEST ELEVATION  
1/8" = 1'-0"



Date	Description

Proj. No.:	2019008
Date:	5/6/2020
Scale:	1/4" = 1'-0"
Drawn By:	RMMV

Drawing Title:  
**BUILDING SECTIONS**

Drawing Number:  
**10**

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LEGEND

- BATT INSULATION
- WALL ASSEMBLIES, TYPICAL
- CEILING ASSEMBLIES, TYPICAL
- RIGID INSULATION
- R-9 AT LOW SLOPE ROOF ASSEMBLIES

GENERAL NOTES

- A. REFER TO ELECTRICAL, MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- B. INSTALL FIRE BLOCKING AT LOCATIONS INDICATED IN CBC SECTION 702.2 THROUGH 702.7 AS APPLIED.
- C. OFF-CONE CALIBER DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND SHALL BE PROTECTED WITH EFFECTIVE BARRIERS BETWEEN FLOORS, BETWEEN TOP STORY AND ROOF OR ATTIC.
- D. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- E. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- F. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- G. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- H. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- I. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- J. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- K. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- L. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- M. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- N. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- O. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- P. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- Q. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- R. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- S. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- T. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- U. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- V. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- W. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- X. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- Y. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.
- Z. FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF COMBUSTIBLE CONSTRUCTION.

SHEET NOTES

1. NOT USED

